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# Merton Council

## Planning Applications Committee

### Membership

#### Councillors

Linda Kirby (Chair)  
Najeeb Latif (Vice-Chair)  
David Dean  
Russell Makin  
Simon McGrath  
Peter Southgate  
Billy Christie  
Rebecca Lanning  
Joan Henry  
Dave Ward

#### Substitute Members:

David Chung  
Edward Foley  
Stephen Crowe  
Daniel Holden  
Carl Quilliam  
Nick Draper

A meeting of the Planning Applications Committee will be held on:

**Date:** 14 May 2020

**Time:** 7.15 pm

**Venue:** This will be a virtual meeting and therefore will not take place in a physical location, in accordance with s78 of the Coronavirus Act 2020.

This is a public meeting and can be viewed by following this link  
<https://www.youtube.com/user/MertonCouncil>.

For more information about the agenda and the decision making process contact [democratic.services@merton.gov.uk](mailto:democratic.services@merton.gov.uk) or telephone 020 8545 3356

Press enquiries: [communications@merton.gov.uk](mailto:communications@merton.gov.uk) or telephone 020 8545 3181

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# Planning Applications Committee

## 14 May 2020

- |    |   |           |
|----|---|-----------|
| 1  | Apologies for absence   |           |
| 2  | Declarations of Pecuniary Interest  |           |
| 3  | Minutes of the previous meeting   | 1 - 10    |
| 4  | Town Planning Applications<br>The Chair will announce the order of Items at the beginning of the Meeting.<br>A Supplementary Agenda with any modifications will be published on the day of the meeting.<br>Note: there is no written report for this item |           |
| 5  | 2 Church Lane, SW19 3NY<br>Application Number:19/P3400    Ward: Merton Park<br><br>Officer Recommendation: GRANT Planning Permission subject to S106 Obligation or any other enabling agreement.  | 11 - 48   |
| 6  | AELTC, Church Road, SW19 5AE<br>Application Number:20/P0420    Ward: Village<br><br>Officer Recommendation: GRANT Planning Permission subject to conditions and S106 agreement.   | 49 - 116  |
| 7  | 28 Lauriston Road, SW19 4TQ<br>Application Number:19/P3324    Ward: Village<br><br>Officer Recommendation: GRANT Planning Permission subject to conditions.   | 117 - 138 |
| 8  | 87 Robinson Road, SW17 9DN<br>Application Number:19/P2287    Ward: Colliers Wood<br><br>Officer Recommendation: GRANT planning permission subject to conditions and a unilateral undertaking to restrict eligibility to parking permits.                  | 139 - 176 |
| 9  | Planning Appeal Decisions   | 177 - 180 |
| 10 | Planning Enforcement - Summary of Current Cases   | 181 - 186 |

### Declarations of Pecuniary Interests

Members are reminded of the need to have regard to the items published with this agenda and, where necessary to declare at this meeting any Disclosable



Pecuniary Interest (as defined in the The Relevant Authorities (Disclosable Pecuniary Interests) Regulations 2012) in any matter to be considered at the meeting. If a pecuniary interest is declared they should withdraw from the meeting room during the whole of the consideration of that matter and must not participate in any vote on that matter. If members consider they should not participate because of a non pecuniary interest which may give rise to a perception of bias, they should declare this, withdraw and not participate in consideration of the item. For further advice please speak with the Council's Managing Director, South London Legal Partnership.

### **Declarations of Pecuniary Interests – Members of the Design and Review Panel (DRP)**

Members of the Planning Applications Committee (PAC), who are also members of the DRP, are advised that they should not participate in an item which has previously been to DRP where they have voted or associated themselves with a conclusion reached or recommendation made. Any member of the PAC who has also sat on DRP in relation to items on this PAC agenda must indicate whether or not they voted in such a matter. If the member has so voted they should withdraw from the meeting.

### **Human Rights Implications:**

The applications in this Agenda have been considered in the light of the Human Rights Act 1998 and in particular, the First Protocol of Article 1 (Protection of Property); Article 6 (Rights to a Fair Trial) and Article 8 (Private and Family Life).

Consideration has been given to the impact of each application on the people living and working in the vicinity of that particular application site and to the impact of the proposals on the persons who have made written representations on the planning merits of the case. A full assessment of material planning considerations has been included in each Committee report.

Third party representations and details of the application proposals are summarised in each Committee report. It may be that the policies and proposals contained within the Development Plan and/or other material planning considerations will outweigh the views of third parties and/or those of the applicant.

**Order of items:** Applications on this agenda are ordered alphabetically. At the meeting the Chair may change this order to bring forward items with the greatest number of public speakers. The new order will be announced by the Chair at the start of the meeting.

**Speaking at Planning Committee:** All public speaking at Planning Committee is at the discretion of the Chair. **Please note that public speaking at this meeting will take the form of written statements, to be read out by the Chair.**

The following people may register to speak:

Members of the Public who have submitted a written representation objecting to an application. A maximum of 6 minutes is allowed for objectors. If only one person registers they will get 3 minutes to speak, a second person will also get 3 minutes. If further people want to speak then the 6 minutes may be shared between them

Agents/Applicants will be able to speak but only if members of the public have registered to speak in opposition to the application. Applicants/agents will get an equal amount of time. If an application is brought to Committee with an Officer recommendation for Refusal then the Applicant/Agent will get 3 minutes to speak.

**All Speakers MUST register in advance**, by contacting The Planning Department no later than 12 noon on the day before the meeting.

**PHONE:** 020-8545-3445/3448

**e-mail:** [planning@merton.gov.uk](mailto:planning@merton.gov.uk))

Ward Councillors/Other Councillors who are not members of the Planning Committee may also register to speak and will be allocated 3 minutes each. Please register with Development Control Administration or Democratic Services no later than 12 noon on the day before the meeting

**Submission of additional information before the meeting:** Any additional information relating to an item on this Agenda should be sent to the Planning Department before 12 noon on the day before the meeting (using email above).

**Please note:**

There is no opportunity to make a visual presentation when speaking at Planning Committee

That the distribution of any documents by the public during the course of the meeting will not be permitted.

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Phone – 020 8545 3356

e-mail – [democratic.services@merton.gov.uk](mailto:democratic.services@merton.gov.uk)

# Agenda Item 3

All minutes are draft until agreed at the next meeting of the committee/panel. To find out the date of the next meeting please check the calendar of events at your local library or online at [www.merton.gov.uk/committee](http://www.merton.gov.uk/committee).

## PLANNING APPLICATIONS COMMITTEE

19 MARCH 2020

(7.50 pm - 10.00 pm)

PRESENT Councillor Linda Kirby (in the Chair), Councillor Najeeb Latif, Councillor Russell Makin, Councillor Simon McGrath, Councillor Peter Southgate, Councillor Billy Christie, Councillor Rebecca Lanning and Councillor Joan Henry and Councillor Stephen Crowe

ALSO PRESENT Tim Bryson – Planning Team Leader North  
Jonathan Lewis – Planning Team Leader South  
Lisa Jewell – Democratic Services Officer

### 1 APOLOGIES FOR ABSENCE (Agenda Item 1)

Apologies for absence were received from Councillors Dave Ward and David Dean  
Councillor Stephen Crowe attended for Councillor Dean

### 2 DECLARATIONS OF PECUNIARY INTEREST (Agenda Item 2)

There were no declarations of pecuniary interest.

The Committee noted that Councillor Linda Kirby and Councillor Najeeb Latif had both Chaired recent Design Review Panel meetings. At these meetings neither take any part in the debate nor vote on the proposal

### 3 MINUTES OF THE PREVIOUS MEETING (Agenda Item 3)

RESOLVED: That the minutes of the meeting held on 13 February 2020 were agreed as an accurate record.

### 4 TOWN PLANNING APPLICATIONS (Agenda Item 4)

Supplementary Agenda: Amendments and modifications to the Officer's report, and an urgent report were published in a Supplementary Agenda. This applied to items 6,7, 8, 9, and 13

Order of the meeting – The Chair announced that the items would be taken in the following order: 9, 8, 5, 7, 6, 10, 11 and 13

### 5 98A HARTFIELD ROAD, LONDON SW19 3TF (Agenda Item 5)

Proposal: Erection of a shed in rear garden

The Committee noted the officer's report and presentation.

In reply to a Member questions the Planning Team leader North explained that the permission for the shed would be incidental to the flat, which allows uses such as

storage or home gym. If someone were to sleep in it long term this would conflict with the permitted usage.

## RESOLVED

The Committee voted unanimously to GRANT Planning Permission subject to conditions

### 6 LAND REAR OF 27 LEAFIELD ROAD, MERTON PARK, SW20 9AG (Agenda Item 6)

Proposal: Erection of 1x 3 bedroom & 1x 2 bedroom single storey dwellings with associated landscaping

The Committee noted the officer's report and presentation and additional information in the Supplementary Agenda

The Objector had registered to speak but had sent a statement instead, this was read by the Chair. The Objector asked the Committee to note that residents did not want this proposal to be built and that residents would be left, in the long term, with properties that they had objected too.

In reply to Members' questions, the Planning Team Leader South said:

- The access to the site is currently gated, various access rights are conferred on the occupiers of neighbouring properties. The proposal does contain a condition to upgrade the surface of the access road. However the planning process cannot get involved in all the access issues
- The bin carrying distances to the collection point are all acceptable
- There is a condition on landscaping to cover the planting of new trees
- The eaves height of the two bungalows is the same

A member commented that this application represents a clever split of the land compared to the previous application, and the height of the proposed units is more acceptable. Access issues have been dealt with, and the right of way issues can be dealt with separately.

## RESOLVED

The Committee voted unanimously to GRANT Planning Permission subject to conditions

### 7 FORMER MITCHAM FIRE STATION, 30 LOWER GREEN WEST, MITCHAM, CR4 3GA (Agenda Item 7)

Proposal: Erection of hoardings to front of Fire Station for a period of 12 months

The Committee noted the officer's report and presentation and additional information in the Supplementary Agenda

The Committee received a verbal representation from one objector, who made points including:

- The hoardings enclose an excessive area, and should only enclose the building and not a large area of land as well
- They have a damaging visual impact, damaging the uncluttered setting and preventing views of Vestry Hall
- They fail to preserve or enhance the views in the conservation area
- They are contrary to Merton Policy

In reply to Members' questions the Planning team Leader South made points including:

- The Hoardings do enclose land owned by the Council and not the applicant but the Council Property Management team have no objection to this
- There are concrete blocks within the hoardings as an additional measure to prevent illegal occupation of the site
- Permission is sought for 12 months but the committee can debate the length of time allowed
- There were guardians on site but this was when the building was under its previous ownership

Members made comments including:

- Understand that on-site guardians would be expensive but these hoardings could be made more acceptable. For example the hoardings currently on the High Path Estate contain information panels showing the history of the site
- The Building is beautiful but these hoardings are ugly
- Do not think these hoardings are acceptable, if the applicant had sought advice they would not be so bad.

The Planning Team Leader South proposed that as the Hoardings have been installed without relevant permission, but that an application for the site is expected to come forward in the future, it would be reasonable to defer the Committee decision by 3 months in order to allow the applicant to improve the visual impact of the hoardings, for example by adding with history boards.

Members were concerned that if these improvements were not forthcoming than Council Officers would be sanctioned to take enforcement action.

**RESOLVED**

The Committee voted unanimously to DEFFER Planning Permission whilst the applicant is allowed 3 months to provide visual improvements to the hoardings

8 15, 15A & 17 RUSSELL ROAD, WIMBLEDON, SW19 1QN (Agenda Item 8)

Proposal: Demolition of existing buildings and erection of part two, three and four storey detached buildings comprising of 9 self-contained flats.

The Committee noted the officer's report and presentation and additional information in the Supplementary Agenda

The Committee received verbal representations from two objectors to the application who made points including:

- This is not high quality design, as required by the NPPF
- The proposal would be dominant and oppressive for residents, in an area that is predominantly 2 storey buildings
- It is close to a Conservation Area and the listed building Wimbledon Theatre
- This proposal will result in the loss of two family homes, but none of the proposed units are 3 bedrooomed, they are 1 and 2 bedrooms – which is against Merton Policy
- The proposal is harmful and is not sustainable
- The proposal would not fit into the area which is predominantly residential, the height and massing is too great. Would appear as a four storey building to the neighbours behind.
- The footprint of the proposal would be 90% of the plot, so it would be double the footprint and height of the current building
- Pleased to see the obscured glazing but it is not high enough

The Committee received a verbal presentation from the applicant who made points including:

- The design takes reference from Wimbledon Theatre
- The height is not unreasonable in this area
- It is a highly energy efficient proposal, and is designed using the BRE light model
- Accept that most developments will have some impact on neighbour amenity, but we did try to reduce the design and we did make changes
- We are happy to increase the height of glazed screening to 1.8m prevent any overlooking

In reply to Members questions, The Planning Team Leader North made comments including:

- Wimbledon Theatre will not be affected by the construction, there will be a construction management plan by condition
- Wimbledon Society did not comment on this application
- The Height of the proposal would be a little higher than the height of the current chimneys
- Scheme has been changed regarding the outdoor space it provides. Screening to 1.8m is proposed to prevent overlooking
- There will be some impact to the neighbouring building to the South, but at the back. This is a Town centre location, and Officers have to achieve a balance when considering such applications

- Officers acknowledge that the landscaping could be moved
- The design is stepped in to minimise impact
- These are market homes not retirement homes.

Members made comments including:

- If looking towards the Broadway this is acceptable but if looking the other way down Russell Road it is inappropriate, but over time we will see more of this type of scheme
- The 1 storey buildings will be completely overshadowed by this, and I'm concerned that 6 stories are allowed in the master plan

RESOLVED

The Committee voted to GRANT Planning Permission subject to conditions

9 ABBEY WALL WORKS, STATION ROAD, COLLIERS WOOD, SW19 2LP  
(Agenda Item 9)

Proposal: (1) Demolition of existing buildings and redevelopment of site to provide a part three, part five and part six storey block of 70 flats and a commercial unit (204 sqm) at ground floor level (comprising flexible A1 (excluding supermarket), A2, A3, B1, & D1 uses) and an associated landscaping, bin/cycle storage, parking, highway works and alterations to listed wall.

&

(2) Listed building consent for demolition of existing buildings and redevelopment of site to provide a part three, part five and part six story block of 72 flats and A commercial unit (204 sqm) at ground floor level (comprising flexible A1 (excluding supermarket), A2, A3, B1, & D1 uses) and an associated landscaping, bin/cycle storage, parking, highway works and alterations to listed wall.

The Committee noted the officer's report and presentation and additional information in the Supplementary Agenda.

The Committee received a verbal representation from an objector, who raised points including:

- Residents are concerned by this application
- The Planning Officer has made incorrect assumptions in their report – Station Road should not be classed as 'urban', it is a residential road and to describe it as urban is an incorrect representation of the character of the area
- The application will reduce daylight and sunlight to Station Road
- Station Road is a narrow road and not a thoroughfare, it will not be able to support 70 new units and their cars.
- We are not opposed to development of the site but want to see family homes, not the current proposal that is mainly one and two bedroomed units
- We understand that other applications in the area have had to reduce their height to 2 or 3 storeys to get Planning Permission
- The Level of affordable housing is too low

- Parents and Staff at new School will increase cars on this road
- It is not a high quality design
- Concerned about large commercial unit and excess refuse

The Committee received a verbal representation from the Applicant's Agent, who raised points including:

- All relevant Policies and guidance have been met by this application
- All external Consultees have no objection including Historic England
- It is High Quality Scheme
- Want to Emphasis the changes that have been made since we started consultations on this scheme
- The comments of the DRP and Urban Design Officer apply to the previous Scheme not this one
- Overall there has been a 40% reduction in floor space since the previous application went to the DRP (Design Review Panel)
- The amount of affordable housing has reduced as the size of the scheme reduced. The Council's Viability Study supports this
- A social rented 3 bedroomed unit is included
- The CIL payments will be £1.4 million and £30,000 toward a new cycleway
- Repairs to the Grade 2 listed Abbey Wall will be carried out as part of the scheme

The Committee received a verbal representation from the Ward Councillor Eleanor Stringer who raised points including:

- Very aware of need for more housing, and I do not object to providing these homes, but a large number of residents are concerned about the height, massing and loss of light caused by this scheme.
- The amount of affordable is too low at less than 10%
- Recognise that changes have been made to the design and proportions
- An early and late stage review are both necessary
- Heritage has to be recognised in construction and design
- A proper archaeological investigation should be carried out
- This area is the centre of a lot of development and local infrastructure must be improved so I was pleased to see the improvements to the highways and cycle path

The Committee received a written representation from Ward Councillor Nigel Benbow, read to the meeting by the Chair, who raised points including:

- I was initially in favour of redevelopment of this site but this proposal is too high and the massing too great. It will have a major impact on the current residents of Station Road
- I think the gap between the Wall and new building would turn into a rubbish magnet
- The new building at 40 Station Road is more suitable in terms of scale and appearance
- Why did Residents not receive a letter, and why did the consultation begin just before Christmas during the General Election period?



The Planning Team Leader North reminded the Committee of points including:

- The Building is set away from the listed Wall and Historic England Area content with the application
- The Council's viability assessor report supports the provision of affordable homes
- The original application was reviewed by the DRP and changes have been made following their comments. Including reducing the number of units

Members asked officers about the Single Aspect units. The Planning Team Leader North answered with some clarification provided by the Agent, and said that there were 22 single aspect units with 19 of these being North Facing. The Planning Team Leader North explained that this site was a difficult shape and the originally proposed long thin units had been replaced by the current proposal but that had resulted in a number of single aspect units.

The Agent reminded the Committee that the proposal was policy compliant, and that all the single aspect units were studios and 1 or 2 bedroomed units, and that all met relevant standards and the Mayor's guidance, Members were concerned that the single aspect units went against their aspirations for developments in the Borough.

A Member asked the Planning Team Leader North to confirm the Agent's assertion that the provision of single aspect units does conform to the Mayor's Guidance. He replied that the guidance does say that single aspect units, particularly North facing, should be avoided, but that other factors can be taken into account. This is not specific to Merton Policy and a balanced view must be taken. This is an awkward site, the original design for the site was not well received by DRP. The proposal now before you is considered by Officers to solve the previous issues and is now considered acceptable by Officers, and is not in breach of the Mayor's Guidance.

In reply to Members Questions The Planning Team Leader made comments including:

- He could confirm that no external consultee objected to the application
- He could confirm that the level of affordable housing offered was supported by the Council's own viability assessment
- There are two communal outdoor spaces on the roof, the boundaries are soft planting and glazing
- All windows are double glazed and Officers have considered the proximity to Merantun Way. The design is set back as far as possible
- The Climate Change Officer is happy with the scheme, and the carbon shortfall is covered by the S106

Members asked about parking and the ptal rating of 3. Officers replied that as there is currently parking available on Station Road, the parking bays provided by this scheme will formalize this arrangement. Officers confirmed that a ptal of 3 is considered suitable for encouraging sustainable transport options.

Members noted that the Officers report contained details of the pre-app design, which received comments from the DRP. Members noted that the design of the proposal before them had been changed since the DRP comments and that this new design had not been before the DRP.

Officers could not say how many single aspect units had been in this previous design, or how many rooms in current design don't achieve BRE standard for daylight and sunlight.

Officers confirmed that this proposal was not as high as the highest part of the new Harris Academy

A member asked about the DRP comment regarding the application being too close to the listed historic wall, and Officers confirmed that the proposal had been moved slightly further back, away from the wall, following discussions with Historic England

One Member commented that he understood the concerns regarding this application but that it does meet standards, it is clear that the site is a difficult shape, and Historic England was content with the application, he would, however, have liked to see more affordable housing.

Another Member commented that this application could be improved in many ways. He was concerned about the height, and the narrowing towards the eastern end which was in danger of looking ridiculous. There is a problem with the number of single aspect units, and the mix of units is a long way from our ideal. The density figure is high considering the poor ptal rating of 3. It is overdevelopment and too high, something more modest would have been more suitable. He said he was pleased with the development at 40 Station Road. These views were supported by another member who said that it was a poorly scaled building, it did not provide good quality homes, and there were concerns about the daylight and sunlight to the single aspect units and neighbouring properties to the north

A motion to refuse the application was proposed and seconded and carried by the vote.

The Committee were then asked to consider the Listed Building Consent, which sought approval for the impact of the proposal on the setting of the listed wall and for works to the listed wall, which had been found acceptable by Historic England. Members were very concerned that by giving listed building consent they would in some way be giving consent to the main application, just refused. Officers explained to members that this was not the case but suggested as an added assurance that the Chair and Vice Chair be party to the relevant drawing details outside of the meeting.

## RESOLVED

The Committee voted to:

1. REFUSE Planning Permission for Proposal 1 -19/P4266 for the following reasons:
  - Height, Bulk, Mass and Scale are all too great
  - The Proposal does not respond positively to its siting, and rhythm

- Proportion of single aspect units is not acceptable
- Too tall in its context, and overly dominant
- Loss of daylight and sunlight to neighbours

2. DELEGATE to the Director of Environment & Regeneration the authority to make any appropriate amendments in the context of the above to the wording of the grounds of refusal including references to appropriate policies

RESOLVED

The Committee voted unanimously to GRANT Listed Building Consent for Proposal 2 – 19/P4268, subject to conditions

10 PLANNING APPEAL DECISIONS (Agenda Item 10)

The Committee noted the report on recent Planning Appeal Decisions

11 PLANNING ENFORCEMENT - SUMMARY OF CURRENT CASES (Agenda Item 11)

The Committee noted the report on recent Planning Enforcement

12 SUPPLEMENTARY AGENDA (Agenda Item 13)

The Committee noted the Supplementary Agenda and the Urgent Report Delegation of Planning Decisions. A member was concerned that the report did not give enough detail regarding:

- what would happen if the Chair was unable to take part
- what would happen if the Chair and Officers did not agree

However the Committee agreed that given the urgent nature of this report it should be agreed as it stood.

RESOLVED

- A. That Committee agrees to delegate authority to make decisions on the matters listed in paragraphs 7.2(a) to (o) of Appendix A to the Director Environment and Regeneration, in consultation with the Chair of the Planning Applications Committee, in cases where, in his reasonable opinion, to delay the decision to the next quorate meeting of the Committee would be detrimental to the interests of the Council or the applicant.
- B. To agree that the Director of Environment may choose to delegate the authority delegated to him to the Head of Development Control should he consider it necessary and appropriate
- C. That this delegation be reviewed after six months or if the law is changed to allow Committee Meetings to be conducted virtually, on the assumption that in

such circumstances, meetings of the Committee will be resumed, whichever is the earlier

**PLANNING APPLICATIONS COMMITTEE**  
**14<sup>th</sup> May 2020**

**Item No:**

**UPRN**

**APPLICATION NO.**

**DATE VALID**

19/P3400

17/09/2019

**Address/Site:**

2 Church Lane  
Merton Park  
SW19 3NY

**Ward:**

Merton Park

**Proposal:**

DEMOLITION OF FORMER TWO STOREY DOCTORS' SURGERY BUILDING AND ERECTION OF A THREE STOREY RESIDENTIAL BLOCK PROVIDING 8 x SELF-CONTAINED FLATS

**Drawing No.'s:**

101; PL03 Rev G; PL04 Rev G; PL08 Rev G; PL05 Rev G; PL07 Rev G; PL09 Rev G; PL10 Rev G; PL11 Rev H; PL23 Rev G; PL24 Rev G; PL25 Rev G; PL27 Rev G; PL90; PL91; 738.1B.

**Contact Officer:**

Catarina Cheung (020 8545 4747)

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**RECOMMENDATION**

**Grant planning permission subject to S106 Obligation or any other enabling agreement.**

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**CHECKLIST INFORMATION**

- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 66
- External consultations: 0
- Controlled Parking Zone: Yes, MP1
- Archaeological Zone: Yes, Tier 2
- Conservation Area: Yes, Merton Park John Innes

**1. INTRODUCTION**

- 1.1 This application is being brought to the Planning Applications Committee for determination due to the nature and number of objections received.

## 2. SITE AND SURROUNDINGS

- 2.1 The site is a vacant two storey building previously in use as a doctors' surgery, located on the western side of Church Lane in Merton Park. The site is surrounded to the north and west by the access path and car park of Andridge Court, and to the south shares a boundary with properties on Church Lane and Langley Road.
- 2.2 The site lies within the Merton Park John Innes Conservation Area but is not a Listed building.
- 2.5 The site has a PTAL rating of 3 (measured on a scale of 0 to 6b, 0 being the worst), and is located in a Controlled Parking Zone, MP1.

## 3. CURRENT PROPOSAL

- 3.1 This application seeks planning permission for the demolition of the existing two storey former doctors' surgery building and to erect a three storey (2 storey with roof level) residential building providing 8 self-contained units.
- 3.2 The proposed building would the following measurements:
- Width of 15.8m;
  - Maximum depth 15.9m (including the front porch 17.8m);
  - Eaves height 5.25m;
  - Maximum height 8.78m.
- 3.3 The external finishing of the building would comprise red brick, tiled roofing with decorate ridge tiles, lead clad dormers, timber framed windows and doors.
- 3.4 The proposed dwelling mix would be as follows:

	Level	Type	Storeys	Proposed GIA (sqm)	Amenity area (sqm)
Unit 1	Ground	3b4p	1	78	25
Unit 2	Ground	2b3p	1	62	44
Unit 3	Ground	1b2p	1	50	10
Unit 4	First	3b4p	1	77	12.5
Unit 5	First	1b2p	1	51	6.1
Unit 6	First	1b2p	1	53	6
Unit 7	Second	2b4p	1	79	6.5
Unit 8	Second	2b3p	1	61	6.5

- 3.5 Refuse bins would be stored in a single building at the front of the site, toward the southern elevation of the proposed building.
- 3.6 2 car parking spaces are retained at the front of the site for the ground floor units.
- 3.7 A communal bike store is provided at the front of the site.

## 4. RELEVANT PLANNING HISTORY

- 4.1 19/P4200: ERECTION OF TEMPORARY HOARDINGS TO FRONT AND SIDE BOUNDARIES – Granted 30/01/2020

- 4.2 16/P0350: DEMOLITION OF EXISTING 2 STOREY BUILDING & ERECTION OF A 3 STOREY BUILDING COMPRISING OF 9 RESIDENTIAL UNITS, 4 X TWO BEDROOM & 5 X ONE BEDROOM FLATS – Refused 27/04/2016, and appeal dismissed 09/11/2016

**Reason 1 - The size, siting and design of the proposals would represent an unneighbourly form of development that would be visually intrusive and result in a loss of light, privacy and outlook to the detriment of the amenities of neighbouring residents contrary to London Plan 2015 policies 7.4 and 7.6, policy CS14 of the Merton LDF Core Planning Strategy (2011) and policy DM D2 of the Merton Sites and Policies Plan (2014).**

**Reason 2 - The size, siting and design of the proposed development would appear incongruous and out of character in the streetscene and, arising from the loss of a holly hedge, features that contribute to the character of the conservation area, would fail to conserve and enhance the John Innes Merton Park Conservation Area and would be contrary to London Plan (2015) policies 7.4, 7.6 and 7.8, policies CS13 and CS14 of the Merton LDF Core Planning Strategy (2011) and policies DM D2, DM D4 and DM O2 of the Merton Sites and Policies Plan (2014).**

**Reason 3 - The proposals by reason of their design would result in a substandard environment for future occupiers with the provision of substandard internal floor area less than the recommended minimum for flats, poor levels of natural lights and outlook contrary to London Plan 2015 policies 3.3, 3.4 & 3.5, Merton Core Strategy (2011) policies CS 9 and CS 14 and Policy DM D2 of the Merton Sites and Policies Plan (2014).**

**Reason 4 - The size, design and layout of the cycle provision would fail to meet adopted minimum standards for safe and secure cycle parking and the layout of the off street parking and refuse store are considered to adversely affect, pedestrian, cycle and vehicular safety. The proposals are therefore contrary to policy 6.9 of the London Plan 2015 and policies CS 18 and CS 20 in the Merton Core Strategy 2011.**

- 4.3 15/P3917: DEMOLITION OF EXISTING 2 STOREY BUILDING & ERECTION OF A 3 STOREY BUILDING WITH ACCOMMODATION IN ROOF SPACE, PROPOSED MIXED USE COMPRISING OF A DAY NURSERY IN THE BASEMENT AND 7 RESIDENTIAL UNITS, 3 X TWO BEDROOM & 4 X ONE BEDROOM FLATS ON THE UPPER FLOORS. – Refused 26/01/2016, and appeal dismissed 09/11/2016

**Reason 1 - The size, siting and design of the proposals would represent an unneighbourly form of development that would be visually intrusive and result in a loss of light, privacy and outlook to the detriment of the amenities of neighbouring residents contrary to London Plan 2015 policies 7.4 and 7.6, policy CS14 of the Merton LDF Core Planning Strategy (2011) and policy DM D2 of the Merton Sites and Policies Plan (2014).**

**Reason 2 - The size, siting and design of the proposed development would appear incongruous and out of character in the streetscene and, arising from the loss of trees and a holly hedge, features that contribute to the character of the conservation area, would fail to conserve and enhance the John Innes Merton Park Conservation Area and would be contrary to London Plan (2015) policies 7.4, 7.6 and 7.8, policies CS13 and CS14 of the Merton LDF Core Planning Strategy (2011) and policies DM D2, DM D4 and DM O2 of the Merton Sites and Policies Plan (2014).**

**Reason 3 - The proposals by reason of their design would result in a substandard environment for future occupiers with the provision of external amenity space less than the recommended minimum for flats, with window openings, and the potential for natural light to rooms, below recommended minimum and with the potential to suffer from noise and disturbance due to the proximity of the nursery use and its associated play space, contrary to London Plan 2015 policies 3.3, 3.4 & 3.5, and the London Plan Housing SPG (2012), Merton Core Strategy (2011) policies CS 9 and CS 14 and Policy DM D2 of the Merton Sites and Policies Plan (2014).**

**Reason 4 - The size, design and layout of the secure cycle provision for both the residential and non-residential uses would fail to meet adopted minimum standards and, in respect of the residential cycle store, the applicant has failed to demonstrate that the spaces would be readily accessible relying on access via third party land. The proposals are therefore contrary to policy 6.9 of the London Plan 2015 and paragraph 5.5.1 of the London Plan Housing SPG (2012) and policy CS 18 in the Merton Core Strategy 2011.**

**Reason 5 - The proposed nursery by reason of its design and layout and the location of the outdoor play area, would result in noise and disturbance to the detriment of neighbour amenity and the amenities of future occupiers and fails to demonstrate that appropriate access and parking facilities would be provided so as not to detract from the general conditions of highway safety and would be contrary to policy DM.C2 of the Merton Sites and Policies Plan (2014).**

- 4.4 Both appeals were considered together. While each application is considered on its merits, within the planning considerations, section 7, this report shall make comment on how officers consider the current scheme has overcome the previous reasons for refusal.
- 4.5 90/P0213: ERECTION OF SINGLE STOREY SIDE AND FRONT EXTENSIONS INCLUDING A FRONT PORCH AND 1ST FLOOR SIDE EXTENSION AND REPLACEMENT OF EXISTING FIRST FLOOR FLAT ROOF WITH PITCHED ROOF TO EXTEND DOCTORS SURGERY – Granted 16/08/1990
- 4.6 90/P0259: CONSERVATION AREA CONSENT FOR ALTERATIONS TO ROOF BY REPLACEMENT OF FIRST FLOOR FLAT ROOF WITH PITCHED ROOF – Granted 16/08/1990
- 4.7 MER604/74: SINGLE STOREY EXTENSION TO DOCTORS CLINIC – Granted 26/09/1974
- 4.8 MER379/74: ROOF OVER OPEN AREA – Granted 04/07/1974
- 4.9 MER295/66: SINGLE STOREY EXTENSION TO EXISTING CLINIC – Granted 11/08/1966
- 4.10 M/M9327: DETAILED APPLICATION FOR ERECTION OF A CLINIC – Granted 10/04/1963
- 4.11 M/M9207: OUTLINE APPLICATION FOR ERECTION OF A SURGERY – Granted 14/11/1962



## 5. CONSULTATION

### External

- 5.1 Public consultation was undertaken by way of letters sent to 66 neighbouring properties. Conservation area site notice was displayed and a press notice advertised in the local paper.
- 5.2 41 representations were received objecting to the proposal, including a petition (21 signatories) from Andridge Court, and one comment received by the Wimbledon Swift Group which raises no objection but suggests that the projects presents a golden opportunity to help local swifts through including artificial nest sites into the construction.
- 5.3 Concerns raised by The John Innes Society:
- The Appeals on previous applications were refused because the plans caused visual intrusion, loss of privacy and overlooking of the neighbouring properties. We do not consider these plans have made realistic proposals to overcome these problems.
  - The proposed obscure glass will create unsatisfactory living conditions for the future occupiers, adding to a feeling of enclosure.
  - The proposed siting of the refuse store is particularly unneighbourly.
  - Concerned of the loss of the mature holly hedge belonging to number 85 Church Lane on the southern boundary, and the row of trees and mature shrubs on the western boundary.
  - If planning permission were to be granted, the development should be carbon neutral.
- 5.4 Objection from the public are summarised as below:

#### Design and appearance

- No justification for the 3 storey height, any new development should be restricted to the same height as present
- Overdevelopment of a small site
- Disingenuous to describe the roof height of the proposed building as a “smooth transition” in terms of streetscape, the building looks unbalanced from the front view.
- Cycle store toward front would be an eyesore onto Church Lane

#### Impact on neighbouring amenity

- Loss of privacy and overlooking from the upper level windows and balconies
- Balconies will have the potential to present a noise and nuisance factor
- Proposed development is both closer in proximity and higher than the existing building and will present a dominating, imposing and overbearing aspect toward neighbouring windows.
- Loss of light and overshadowing
- Overlooking into Andridge Court’s amenity area/pergola
- Two amenity spaces would have views into Andridge Court’s access road
- Potential intrusion into neighbouring property for servicing (e.g. plant tending, window cleaning, repairs etc)
- Refuse bin positioned along boundary will invite smells and attract foxes and vermin into the neighbouring front garden area, and invite flytipping if not secure.

#### Standard of accommodation

- No amenity space for the flats which will undoubtedly house children as well as adults.

#### Transport (parking and cycle)

- 2 parking spaces inadequate for 8 flats
- Church Lane is already heavily congested, extra flats will only make the traffic and parking situation worse.
- Where will vehicles park if the development is permit free
- Bicycles stored toward the street would be vulnerable to opportunistic theft

#### Others

- Loss of trees, hedges and effect on wildlife. Applicant has removed the hedge between 2 Church Lane and 85 Church Lane which does not belong to them.
- Inaccuracy of the boundary drawn between numbers 2 and 85 Church Lane
- Construction works causing congestion
- Likely asbestos within the walls of the existing building, before any demolition works a full survey should be required
- Could not find notice of the application

5.5 A 14 day re-consult was carried out 01/04/2020, and 11 representations were received:

5.6 Concerns raised by The John Innes Society

- Support objections to the occupiers of number 14 Langley Road and 85 Church Lane as the proposal would detract from their amenities
- Roof lights and Juliette balconies on the front roof are out of keeping
- Dormers should be tile hung
- Not persuaded by the living conditions of the units
- No indication the development will be built to Carbon Neutral standards
- Not happy with the proposals for trees set out in the arboricultural report

5.7 Objections from the public summarised as below:

- The building still looks unbalanced from the front view.
- Overdevelopment of the site
- Building remains disproportionately large in relation to the neighbouring properties and out of keeping with the expectations and spirit of the Conservation Area
- Allowing a high density block would create a dangerous precedent
- Privacy and amenity of neighbouring properties would still be threatened by the proposed development despite the small adjustments that have recently been proposed.
- Loss of light, privacy and visual intrusion toward Andridge Court's flats and their garden
- Amenity areas along the southern boundary would cause additional noise, and if used as a smoking area would cause an unpleasant smell and health issue
- Trespassing into neighbouring property to prune trees and for servicing
- Overlooking into Andridge Court's access road
- Cycle store would be unsightly at the front of the development
- Trees along the western boundary in Andridge Court's car park would the light and views to the private amenity areas of the development
- The siting of the waste bin area is likely to be noisy, and unless properly managed could be insanitary and smelly

- Permission would be required to building any structure on the party wall and removal of the neighbouring holly hedge
- Lack of car parking
- The 3 storey building would bring the house prices down of the surrounding houses

### **Internal**

5.8 Conservation officer – The Conservation officer has been involved through the previously refused applications and pre-application discussions, and considers that the current proposal has come a long way from its previous submissions and the responds to the concerns previously raised. With further amendment involving notably the reduction of the height of the northern element and reducing the size of the side dormers, the building has appropriately reduced its bulk and appears overall more in balance. The proposal has the potential of being a successful design. However, in the event of permission being granted, conditions would be required to ensure samples of all the materials are supplied to the LPA for approval.

5.9 Transport officer – The site lies within an arear of PTAL 3, which is considered to be a moderate rating. A moderate PTAL rating suggests that it is possible to plan regular journeys such as daily work trips or trips to and from school using public transport. The local area forms part of Controlled Parking Zone MP1. Restrictions are enforced from Monday to Friday between 10 am and 4 pm with a maximum stay of 2 hours for pay and display customers.

**Car Parking:** Two parking spaces are provided, retaining the existing dropped kerbs and vehicular access to the site.

The parking survey undertaken by the applicant indicates there are sufficient car parking spaces during off peak periods. However, in order to minimise impact upon surrounding streets during peak periods it is considered appropriate in this instance the development is permit free. The applicant will be required to enter into a Sec.106 agreement with the Council to ensure the development is permit free and no future resident within the development can apply for an on street parking permit in the surrounding parking zones.

**Cycle Parking:** Cycle parking should be installed on site in accordance with London Plan standards on cycle parking for new residential developments: 1 per studio and one bed dwellings; and 2 per all other dwellings. In order to meet the standards, the proposal should provide 13 long term cycle parking (secure and undercover). The proposal provides 14 cycle parking spaces, which is acceptable.

**Refuse:** Waste collection points should be located within 30 metres of residential units and within 20 metres of collection vehicles.

**Recommendation:** The proposal is unlikely to have a significant impact on the adjoining highway network. No objection raised subject to:

- Car parking and cycle parking maintained.
- A S106 agreement with the Council to ensure the development is permit free and no resident within the development can apply for an on street parking permit in the surrounding parking zones.
- Condition for Refuse.

- 5.10 Climate Change – The Council’s Climate Change officer has requested that an energy statement with supporting SAP worksheets be submitted for review prior to making a decision. The applicant has provided this information, and following review by the Climate Change officer, they now consider that the Energy statement (‘00036 – 2 Church Lane’) is consistent with Merton’s Climate policies, and our standard pre-occupation condition to achieve at least a 19% improvement over building regulations and maximum internal water consumption of 105L/day can be applied.

The SAP calculations provided by the applicant indicate an assumed COP (coefficient of performance) of 2.6 for the air source heat pumps (ASHP). The ASHP provide the only form of heating to the building. The Climate Change officer considers the ASHP can achieve a performance of a higher target, at least 3 to ensure energy bills are not unreasonably high for future occupiers. Therefore, a further condition has been recommended to ensure the ASHP achieve a seasonal COP (coefficient of performance) of 3.

- 5.11 Waste services – For the proposed 8 units, the following are the recommended waste storage capacity to avoid overflowing bins and residents leaving items on the floor by the bins:

2x 360L wheelie bins for refuse 2x 360L wheelie bins for paper and card, up to 2x recycling boxes per unit for mixed recycling, 1x indoor and 1x outdoor kitchen waste caddie per unit.

As these would be properties with street level collection service, the only concern here is that all waste must be presented for collection by property edge. Waste not presented would not be collected nor logged as a missed collection.

- 5.12 Trees – The Tree officer requested an Arboricultural Report as the site lies within a Conservation Area. This was provided by the applicant and reviewed by LBM’s Tree officer. No Arboricultural objection raised provided that the trees are protected in line with the submitted report. Conditions have been recommended should the application be minded for approval.

## **6. POLICY CONTEXT**

- 6.1 NPPF - National Planning Policy Framework (2019):

Part 5 Delivering a sufficient supply of homes

Part 9 Promoting sustainable transport

Part 11 Making effective use of land

Part 12 Achieving well-designed places

- 6.2 London Plan 2016:

3.3 Increasing housing supply

3.4 Optimising housing potential

3.5 Quality and design of housing developments

3.8 Housing choice

3.9 Mixed and balanced communities

3.17 Health and social care facilities

5.1 Climate change mitigation

5.2 Minimising carbon dioxide emissions

5.3 Sustainable design and construction

5.17 Waste Capacity

6.3 Assessing effects of development on transport capacity

6.9 Cycling

6.13 Parking

7.3 Designing out crime

- 7.4 Local character
- 7.6 Architecture
- 7.8 Heritage assets and archaeology
- 8.3 Community infrastructure levy

6.3 Merton Sites and Policies Plan July 2014 policies:

- DM C1 Community facilities
- DM D1 Urban design and the public realm
- DM D2 Design considerations in all developments
- DM D4 Managing heritage assets
- DM E3 Protection of scattered employment sites
- DM EP4 Pollutants
- DM H2 Housing mix
- DM O1 Open space
- DM T1 Support for sustainable transport and active travel
- DM T2 Transport impacts of development
- DM T3 Car parking and servicing standards
- DM T5 Access to road network

6.4 Merton Core Strategy 2011 policy:

- CS 8 Housing choice
- CS 9 Housing provision
- CS 11 Infrastructure
- CS 13 Open space, nature conservation, leisure and culture
- CS 14 Design
- CS 15 Climate change
- CS 17 Waste management
- CS 18 Transport
- CS 20 Parking servicing and delivery

6.5 Supplementary planning documents

- London Housing SPG 2016
- Technical Housing standards – nationally described space standards 2015

**7. PLANNING CONSIDERATIONS**

7.1 The key planning considerations of the proposal are as follows:

- Principle of development
- Design and impact upon the character and appearance of the area
- Impact upon neighbouring amenity
- Standard of accommodation
- Transport, parking and cycle storage
- Refuse
- Sustainability
- Other matters
- Developer contributions

Principle of development

**Loss of medical centre**

- 7.2 Merton SPP 2014 Policy DM C1 states any redevelopment proposals resulting in a net loss of existing community facilities will need to demonstrate that: i) the loss would not create, or add to, a shortfall in provision for the specific community uses; and ii. that there is no viable demand for any other community uses on the site. Redevelopment or change of use of sites used for health facilities should not result in

inadequate provision or poor accessibility to healthcare for residents. Locations for new health developments should be in accessible locations that are well served by public transport, commensurate with the numbers of trips the facility is expected to generate and the need to locate facilities throughout the borough.

- 7.3 The former doctor's surgery has been relocated to the nearby Nelson Hospital re-development, now Nelson Medical Practice, along Kingston Road. The site has been vacant since purchase around 2015.
- 7.4 Therefore, it is not considered the change of use of the existing medical centre would result in the loss of health facilities for the local community as this has been relocated to a centre within walking distance of the site. The change of use would not be considered contrary to policy.

#### **Erection of residential development**

- 7.5 The National Planning Policy Framework, London Plan Policy 3.3 and the Council's Core Strategy Policy CS8 and CS9 all seek to increase sustainable housing provision and access to a mixture of dwelling types for the local community, providing that an acceptable standard of accommodation would be provided. Policy 3.3 of the London Plan 2016 also states that boroughs should seek to enable additional development capacity which includes intensification, developing at higher densities.
- 7.6 The site is in a wholly residential area, therefore a residential building would not appear contrary to the character of the area.
- 7.7 The development seeks to make effective use of the site by providing 8 residential units. The principle of doing so is considered acceptable and in line with policies to increase provision of additional homes and seeking opportunities through intensification of the site.
- 7.8 However, the scheme is also subject to all other criteria being equally fulfilled and compliant with the policies referred to above.

#### Character and Appearance

- 7.9 The NPPF states that developments should function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development. Developments should ensure that they are visually attractive and are sympathetic to local character and history, while not preventing or discouraging appropriate innovation or change (such as increased densities).
- 7.10 Policies CS14, DMD1 & DMD2 require that new development reflect the best elements of the character of the surrounding area, or have sufficient distinctive merit so that the development would contribute positively to the character and appearance of the built environment. Policy DM D2 of Merton's Sites and Policies Plan requires development to relate positively and appropriately to the siting, rhythm, scale, density, proportions, height, materials and massing of surrounding buildings and existing street patterns, historic context, urban layout and landscape features of the surrounding area and to use appropriate architectural forms, language, detailing and materials which complement and enhance the character of the wider setting. The requirement for good quality design is further supported by the London Plan London Plan Policies 7.4 and 7.6.
- 7.11 The building lies within the John Innes Conservation Area, and as noted above is considered a building of negative contribution to the Conservation Area. The buildings immediately surrounding the application site have been recognised of

different levels of significance as described within the John Innes Merton Park Character Assessment, these are set out below:

Locally Listed

- 2a Church Lane, adjoining north of the application site - but its large side and rear extension is not considered of architectural interest and considered to make a neutral contribution to the Conservation Area;
- 16 Langley Road, southeast of the application site.

Positive contribution

- 1a Church Lane, northeast of the application site;
- 166 Kingston Road, adjoining west (rear) of the application site.

Neutral contribution

- 85 Church Lane, adjoining south of the application site;
- 14 Langley Road, adjoining south of the application site.

Negative contribution

- 1 Church Lane, east of the application site.

- 7.12 There is a varied degree of architectural significance in this immediate area of Church Lane. The existing building is noted of negative contribution, therefore a replacement building with a high quality design in response to its historic surrounds would be welcomed by officers to enhance this area of Church Lane and contribute to the Conservation Area.
- 7.13 The design has been heavily influenced by the character Quartermain buildings in the area. Officers consider the features within the surrounding area have been well observed and drawn upon to create a sympathetic design; such as the arched brick detailing above the windows, herring-bone design of the timber balconies and hung tile upper gables.
- 7.14 The scheme has also been amended, 26/03/2020, these changes were reconsulted (summary of their representations under section 5). Most notably, the revision reduced the height of the northern three storey element so that the building altogether sits at an even height, and along the northern roof slope, 3 dormers are proposed instead which align with the windows on the ground and first floor levels. The proposed external finishing would be of a red brick instead of yellow stock brick as originally specified.
- 7.15 With the further amendments, and those discussed with the Conservation officer, it is considered that the proposed design of the development is acceptable. In this instance, the 'pastiche' approach works successfully and would altogether would present an enhanced building toward the streetscene and Conservation Area which would make a positive contribution.
- 7.16 It is noted the 2 schemes previously dismissed at appeal (listed under section 4), were considered to have a harmful impact toward the Conservation Area, in its detailing such as: massing, prominent front light wells enclosed by handrailing, refuse bin store positioned at the front of the site, privacy screen to the sides of the front balconies and loss of hedging toward the streetscene. Both schemes were considered by the Inspector to have an "overdominant, stark and obtrusive appearance, which would detract from character and appearance of the Conservation Area to a greater extent than the existing property".
- 7.17 However, officers consider the design of the currently proposed building reflects more

successfully its surrounding architecture, and could be described as a more 'traditional' detached dwelling in appearance than the previous schemes. The massing at the front of the building has removed the previously proposed dominant 3 storey front projection with a steep roof feature that highlighted its mass, and has broken the frontage into a more conventional detached house configuration with a setback side (northern) element. Of further note, the holly hedge at the front boundary has been retained (as shown on the 'Planting Proposals' drawing [738.1B]), which was considered by the Inspector to make "a positive contribution to the verdant character of the Conservation Area".

#### Neighbouring Amenity

- 7.18 SPP Policy DM D2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring properties in terms of loss of light, quality of living conditions, privacy, visual intrusion and noise.

#### **85 Church Lane**

- 7.19 Toward 85 Church Lane, the building would display a height increase of around 0.9m (not including the 0.27m height of the decorative ridge tile) from the existing doctor's surgery building. The building line would also remain the same as existing along the southern elevation, therefore the separation distance between the buildings remain at 3.1m.
- 7.20 On the ground floor, a boundary fence would separate Flat 3's amenity area from the rear window of number 85's lounge (the window of the lounge is set back 1.3m from the boundary, and does not provide the room's principal views as is toward the rear). The proposed single storey refuse store area would be sited toward the rear of number 85's bathroom which exhibits an obscure window. Therefore, it is not considered the ground floor amenity area or the store room would result in harmful overlooking or material impact in terms of light or views.
- 7.21 On the first floor, 2 windows with lower pane obscure glazing are proposed on the southern elevation. However, there are no windows on the rear elevation of number 85 and would unlikely raise concerns in terms of overlooking.
- 7.22 No windows are proposed on the southern elevation of the second floor of the proposed building. And, given the height increase of the building would be around 0.9m, this would not likely raise such harmful impact than the existing situation in terms of light and outlook toward the neighbouring rooflights – two which serve a bathroom and a stairwell which are not considered habitable rooms.

#### **Andridge Court, 2a Church Lane**

- 7.23 The existing building and Andridge Court are separated by a vehicular access path. The proposed development would predominantly retain the existing ground floor footprint of the doctor's surgery, but with an increased 2.8m set back from the existing rear building line. Therefore, on the ground floor, the separation distance between the main buildings remain at 6.6m; and at the point between the single storey side element of Andridge Court and the proposed building, would remain at 3.7m.
- 7.24 Andridge Court is an L-shaped building. The proposed development would therefore project 5.2m from the rear building line of the front building (facing toward Church Lane), and the separation distance between the rear of the proposed building and the rear building of Andridge Court would be 13.8m.



- 7.25 On the second floor side elevation of Andridge Court (the front building), there are 2 existing windows. The proposed development would have three dormer windows on the second floor northern elevation facing toward Andridge Court. However, given the positioning of the dormers, these would unlikely have direct view toward the neighbouring windows; at most, the rear two dormers would have oblique views toward these. Officers also note in respect of the Andridge Court windows; one is obscure glazed (that positioned on the right hand side), and the other obscure glazed on the lower pane. Whilst overlooking would be unlikely, the rear dormer has nonetheless has been amended to provide a half obscure window in order to increase privacy for both units – there is a separation distance of 6.7m between the two windows, so even if both were open, there is a reasonable setback.
- 7.26 As mentioned above, the rear of the proposed building would be set back 13.8m from the rear end of Andridge Court. Therefore, it would be unlikely Flat 6's first floor living/kitchen window of the proposed development would have inappropriate view into the windows of Andridge Court.
- 7.27 Toward the pergola area of Andridge Court. Flat 6's first floor side windows would mostly have a skewed view from their living/kitchen area and bedroom. The Juliette balconies at the rear of the development would unlikely overlook this area as there is not an opportunity to 'step out' /peer over, so the directional outlook from the Juliette balconies remain toward the car park, with at most, some angled view toward the rear end of the pergola area. Similarly, the balconies on the second floor level would have 1.7m high obscure screens on the sides preventing view toward the pergola area, and again main outlook toward the car park.
- 7.28 Notably, the height of the building has been reduced toward the northern end, so overall there would be a reduced visual impact toward Andridge Court as the building would display a uniform height.

#### **14 Langley Road**

- 7.29 As mentioned previously, the footprint of the ground floor would remain the same as existing with a 2.8m set back from the rear building line and the building line of the southern elevation would remain as existing. On the ground floor, it is noted there is a shed at the rear of 14 Langley Road positioned along the boundary. Therefore, on the ground floor, there would unlikely be views overlooking into the rear window /French doors of number 14 from the amenity area of Flat 2.
- 7.30 On the first floor of the proposed building on the southwestern corner, the building has been set back 3.2m from the ground floor rear building line to provide an amenity area for Flat 4. However, to ensure there would be no overlooking toward 14 Langley Road, a 1.7m high obscure screen would be positioned along the southern elevation.
- 7.31 All amenity areas on the first floor and roof level would have obscure screens along its southern elevation to prevent overlooking. The directional outlook of these spaces would be focussed predominantly toward the car park of Andridge Court, with only some oblique views toward the rear of 14 Langley Road. However, there would be at least a 9.5m separation distance from the rear of the first floor amenity area and number 14's closest first floor rear window; and given the nature of the second floor balcony 'tucked' into the rear roof slope, this would not project beyond the edge of the eaves and there would be a separation distance of 12m from Flat 7's balcony and 14 Langley Road's rear building line.
- 7.32 Overall, it is not considered there would be an undue loss of privacy, light or outlook toward 14 Langley Road.

### **1 Church Lane**

- 7.33 The front building line of the new proposed development would be the same as existing. Therefore, the separation distance from the opposite neighbouring dwelling, 1 Church Lane, remains at 28m.
- 7.34 The main building of 1 Church Lane is not sited immediately opposite of the proposed development, this area is their garden. Nonetheless, there would be an 18m separation distance from this, and, along the western boundary of 1 Church Lane's garden is a high fence with hedges and mature trees further screening views.
- 7.35 Therefore, there would unlikely be inappropriate overlooking or loss of privacy toward 1 Church Lane.

### **166 Kingston Road**

- 7.36 Between the application site and the rear neighbouring property, 166 Kingston Road, there is a car park separating the plots spanning a width of around 19-20m. And, between the rear building line of the proposed development and the rear of number 166, there would be separation distance of approximately 28m. Given the distance, concerns toward number 166's amenity are not considered of significant harm.
- 7.37 Both previously dismissed schemes were considered to represent an unneighbourly form of development resulting in a significant detrimental impact on the living conditions of the neighbouring residents, particularly in relation to light, privacy and outlook. The current proposal has considered those concerns, and revised the building form to address such issues. Notably, the reduction of the height of the building (around 0.3m), reduction in depth of the building with a setback at the first floor level and balconies and windows appropriately re-configured with screening/obscure glazing. Officers consider the proposed building would not result in an adverse impact toward the adjacent neighbours and has suitably addressed previous concerns.

#### Standard of accommodation

##### **Internal**

- 7.38 Policy 3.5 of the London Plan 2016 requires housing development to be of the highest quality internally and externally, and should satisfy the minimum internal space standards (specified as Gross Internal Areas –GIA) as set out in Table 3.3 of the London Plan. Table 3.3 provides comprehensive detail of minimum space standards for new development; which the proposal would be expected to comply with. Policy DMD2 of the Adopted Sites and Policies Plan (2014) also states that developments should provide suitable levels of sunlight and daylight and quality of living conditions for future occupants.

	Level	Type	Storeys	Proposed GIA (sqm)	Required GIA (sqm)	Compliant
Unit 1	Ground	3b4p	1	78	74	Yes
Unit 2	Ground	2b3p	1	62	61	Yes
Unit 3	Ground	1b2p	1	50	50	Yes
Unit 4	First	3b4p	1	77	74	Yes
Unit 5	First	1b2p	1	51	50	Yes
Unit 6	First	1b2p	1	53	50	Yes
Unit 7	Second	2b4p	1	79	70	Yes
Unit 8	Second	2b3p	1	61	61	Yes

7.39 As demonstrated by the table above, all the units would comply with the minimum space standards. Bedrooms and living room areas would have windows providing access to light and ventilation.

**External**

7.40 In accordance with the London Housing SPG and Policy DMD2 of the Council's Sites and Policies Plan, it states that there should be 5sqm of external space provided for private outdoor space for 1-2 person dwellings and an extra 1sqm provided for each additional occupant.

	Level	Type	Proposed Amenity area (sqm)	Required amenity area (sqm)	Compliant
Unit 1	Ground	3b4p	25	7	Yes
Unit 2	Ground	2b3p	44	6	Yes
Unit 3	Ground	1b2p	10	5	Yes
Unit 4	First	3b4p	12.5	7	Yes
Unit 5	First	1b2p	6.1	5	Yes
Unit 6	First	1b2p	6	5	Yes
Unit 7	Second	2b4p	6.5	7	No
Unit 8	Second	2b3p	6.5	6	Yes

7.41 Whilst Unit 7 falls below the minimum standards for external amenity area, it is noted the internal GIA would exceed the minimum requirement by 9sqm. Therefore, on balance, it is considered this unit would be acceptable and would not offer a sub-standard level of accommodation.

7.42 Both previously dismissed applications were considered to provide a substandard environment for future occupiers, 15/P3917 with external amenity less than recommended with noise disturbance from the proposed nursery, and lack of light into rooms; and 16/P0350 with substandard internal floor areas with poor light and outlook. With the removal of the nursery use, this has removed potential noise and disturbance (to future occupiers of the site, and surrounding). Furthermore, as presented above, the existing scheme would provide internal and external floor areas in line with the minimum standard set out in the London Plan 2016. All living areas and bedrooms are provided with windows allowing appropriate views and light, amenity areas (none at the front as previously proposed) would be suitably screened and orientated to ensure privacy toward neighbouring properties but also allowing a reasonable outlook for future occupiers.

Transport, parking and cycle storage

7.43 Core Strategy Policy CS20 requires that development would not adversely affect pedestrian or cycle movements, safety, the convenience of local residents, street parking or traffic management. Cycle storage is required for all new development in accordance with London Plan Policy 6.9 and Core Strategy Policy CS18. It should be secure, sheltered and adequately lit and Table 6.3 under Policy 6.13 of the London Plan stipulates that 1 cycle parking space should be provided for a studio/1 bedroom unit and 2 spaces for all other dwellings.

7.44 The site has a PTAL of 3 and is located in Controlled Parking Zone MP1.

- 7.45 The proposed development would provide 2 off street parking spaces at the front of the site, retaining the existing dropped kerb and vehicular access to the site. LBM's Transport officer has reviewed the scheme and considers the parking arrangement appropriate, the parking survey provided by the applicant indicates there would be sufficient car parking spaces during off peak periods. However, in order to minimise impact upon the surrounding streets, the applicant will be required to enter into a S106 agreement with the Council to ensure the development is permit free and no future resident within the development can apply for an on street parking permit in the surrounding parking zones. The applicant has agreed and a S106 agreement is in place to ensure this.
- 7.46 The proposal requires 13 cycle spaces to satisfy the proposed number of dwellings, the bike store at the front of the site would offer 14 storage racks so would satisfy policy requirement.
- 7.47 In the previously dismissed schemes at appeal, both were considered to provide a lack of cycle storage for the proposed dwelling size; and in particular for 15/P3917, the cycle spaces would be readily accessible relying on access via third party land. As currently proposed, given the removal of the non-residential use (15/P3917), the scheme provides adequate cycle storage for the 8 residential units. These are accessed in a convenient location toward the entrance of the site, and suitably screened with shrubs toward the streetscene.
- 7.48 Overcoming the concerns of the impact of the off-street parking spaces and refuse stores toward pedestrian, cycle and vehicular safety in application 16/P0350. The off-street car parking spaces are appropriately positioned up to 0.3-0.4m from the highway, refuse and cycle spaces are appropriately dedicated on the north (cycle) and south (refuse) boundaries, so provided with separate access paths from the car park spaces.
- Refuse
- 7.49 The London Plan Policy 5.17 and Merton Core Strategy Policy CS17 require new developments to show capacity to provide waste and recycling storage facilities.
- 7.50 The bins would be stored toward the front of the site, along the southern boundary of the plot. This store area would measure a depth 5.3m depth, 1.8m width, 2.1m eaves height and 2.7m maximum height.
- 7.51 This would be considered an appropriate and convenient location for access, and collection from the highway would be less than 20m.
- Sustainability
- 7.52 All new developments comprising the creation of new dwellings should demonstrate how the development will comply with Merton's Core Planning Strategy (2011) Policy CS15 Climate Change (parts a-d) and the policies outlined in Chapter 5 of the London Plan (2016). As a minor development proposal, the development is required to achieve a 19% improvement on Part L of the Building Regulations 2013 and water consumption should not exceed 105 litres/person/day.
- 7.53 The Council's Climate Change officer has reviewed the Energy statement and SAP worksheets submitted by the applicant and considers these are consistent with Merton's Climate policies, therefore, a standard pre-occupation condition has been recommended to be attached should the application be minded for approval. Furthermore, the SAP calculations provided by the applicant indicate an assumed COP (coefficient of performance) of 2.6 for the air source heat pumps (ASHP). The

ASHP provide the only form of heating to the building. The Climate Change officer considers the ASHP can achieve a performance of a higher target, at least 3 to ensure energy bills are not unreasonably high for future occupiers. Therefore, a further condition has been recommended to ensure the ASHP achieve a seasonal COP (coefficient of performance) of 3.

#### Other matters

##### **Trees**

- 7.54 Following review of the arboricultural report by LBM's Tree officer, no concerns were raised and conditions have been recommended should the application be minded for approval to ensure details in their submitted report are complied with, and an Arboricultural expert shall supervise and monitor the works, reporting to the LPA not less than monthly throughout the course of the construction period.
- 7.55 The Tree officer requested an Arboricultural Report as the site lies within a Conservation Area. This was provided by the applicant and reviewed, the Tree officer raises no Arboricultural objection provided that the trees are protected in line with the submitted report. Conditions have been recommended should the application be minded for approval.

##### Developer Contributions

- 7.56 The proposed development would be subject to payment of the Merton Community Infrastructure Levy and the Mayor of London's Community Infrastructure Levy (CIL).

## **8. CONCLUSION**

- 8.1 The scale, form, design, positioning and materials of the proposed new development have been carefully considered and would make a positive impact toward the character and appearance of the Church Lane streetscene and John Innes Conservation Area. The building appropriately takes architectural cues from the local buildings and would present an enhanced dwelling to the area making a positive contribution. Following further amendments to the scheme, reducing the height of the northern element, and with thoughtful consideration of the massing to the rear and window/balcony positionings, the proposal is not considered to have a harmful impact toward neighbouring amenity. As noted throughout the planning considerations section of this report, the current scheme has also addressed concerns raised by the Inspector on the previously dismissed schemes, and is now considered appropriate in all those areas.
- 8.2 Therefore, the proposal is considered to comply with the principles of policies referred to in Section 6 and it is recommended to grant planning permission subject to a section 106 legal undertaking.

### **RECOMMENDATION**

Grant planning permission subject to the completion of a S106 agreement to make the scheme "permit free" and the following conditions are recommended:

1. A1 Commencement of Development
2. A7 Approved Plans
3. B1 External Materials to be approved – No development, apart from demolition, shall take place until details of particulars and samples of the materials to be used on all external faces of the development hereby permitted, including window frames and doors (notwithstanding any materials specified in the application form

and/or the approved drawings), have been submitted to the Local Planning Authority for approval. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall be carried out in full accordance with the approved details.

4. B4 Details of surface treatment – Prior to occupation of development, details of the surfacing of all those parts of the site not covered by buildings or soft landscaping, including any parking, service areas or roads, footpaths, hard and soft shall be submitted in writing for approval by the Local Planning Authority. The development shall not be occupied until the details have been approved and works to which this condition relates have been carried out in accordance with the approved details.
5. B5 Details of Walls/Fences – Prior to occupation of development, details of boundary walls or fences shall be submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be occupied until the details are approved and carried out in accordance with the approved details. The walls and fencing shall be permanently retained thereafter.
6. C03 Obscure Glazing – before the development is first occupied, windows on the lower panel of the southern elevation windows (Flat 4) and the lower pane of the rear dormer window serving bedroom 2 of Flat 8 shall be obscure glazed, and permanently maintained as such thereafter.
7. C07 Refuse & Recycling (details to be submitted) – No development shall be occupied until a scheme for the storage of refuse and recycling has been submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be occupied until the scheme has been approved and carried out in full. Those facilities and measures shall thereafter be retained for use at all times from the date of first occupation.
8. C09 Balcony/Terrace (screening) – The 1.7m obscure screening to the rear balconies/terrace areas of Flats 4, 6, 7 and 8 as shown on the approved plans shall be implemented before the development is first occupied and retained permanently thereafter.
9. D11 Construction hours – No demolition or construction work or ancillary activities such as deliveries shall take place before 8am or after 6pm Mondays - Fridays inclusive, before 8am or after 1pm on Saturdays or at any time on Sundays or Bank Holidays.
10. F02 Landscaping (Implementation) – All soft landscape works shall be carried out in accordance with the approved details as shown on drawing 738.1B 'Planting Proposals' dated 20.06.2019. The works shall be carried out in the first available planting season following the completion of the development or prior to the occupation of any part of the development, whichever is the sooner, and any trees which die within a period of 5 years from the completion of the development, are removed or become seriously damaged or diseased or are dying, shall be replaced in the next planting season with others of same approved specification, unless the Local Planning Authority gives written consent to any variation.
11. F05 Tree Protection – The details and measures for the protection of the existing trees as specified in the document 'BS 5837 Arboricultural Report' ref 'BS/241' dated '05.11.2019' shall be complied with. The methods for the

protection of the existing trees shall fully accord with all of the measures specified in the report and shall be installed prior to the commencement of any site works and shall remain in place until the conclusion of all site works.

12. F08 Site Supervision – The details of the Arboricultural Method Statement and Tree Protection Plan shall include the retention of an arboricultural expert to supervise, monitor and report to the LPA not less than monthly the status of all tree works and tree protection measures throughout the course of the construction period. At the conclusion of the construction period the arboricultural expert shall submit to the LPA a satisfactory completion statement to demonstrate compliance with the approved protection measures.
13. H04 Provision of Vehicle Parking – The 2 vehicle parking spaces shown on the approved plans shall be provided before the occupation of the buildings or use hereby permitted and shall be retained for parking purposes for occupiers and users of the development and for no other purpose.
14. H06 Cycle Parking (Details to be submitted) – No development shall be occupied until details of secure cycle parking facilities for the occupants of, and visitors to, the development have been submitted to and approved in writing by the Local Planning Authority. The approved facilities shall be fully implemented and made available for use prior to the first occupation of the development and thereafter retained for use at all times.
15. A Non-standard condition (sustainability) – No part of the development hereby approved shall be occupied until evidence has been submitted to, and approved in writing by, the Local Planning Authority confirming that the development has achieved CO2 reductions of not less than a 19% improvement on Part L regulations 2013, and internal water consumption rates of no greater than 105 litres per person per day.
16. A Non-standard condition (air source heat pumps) – No part of the development hereby approved shall be occupied until evidence has been submitted to, and approved in writing by, the Local Planning Authority confirming that the air source heat pumps provided for the development would achieve a seasonal coefficient of performance of at least 3.

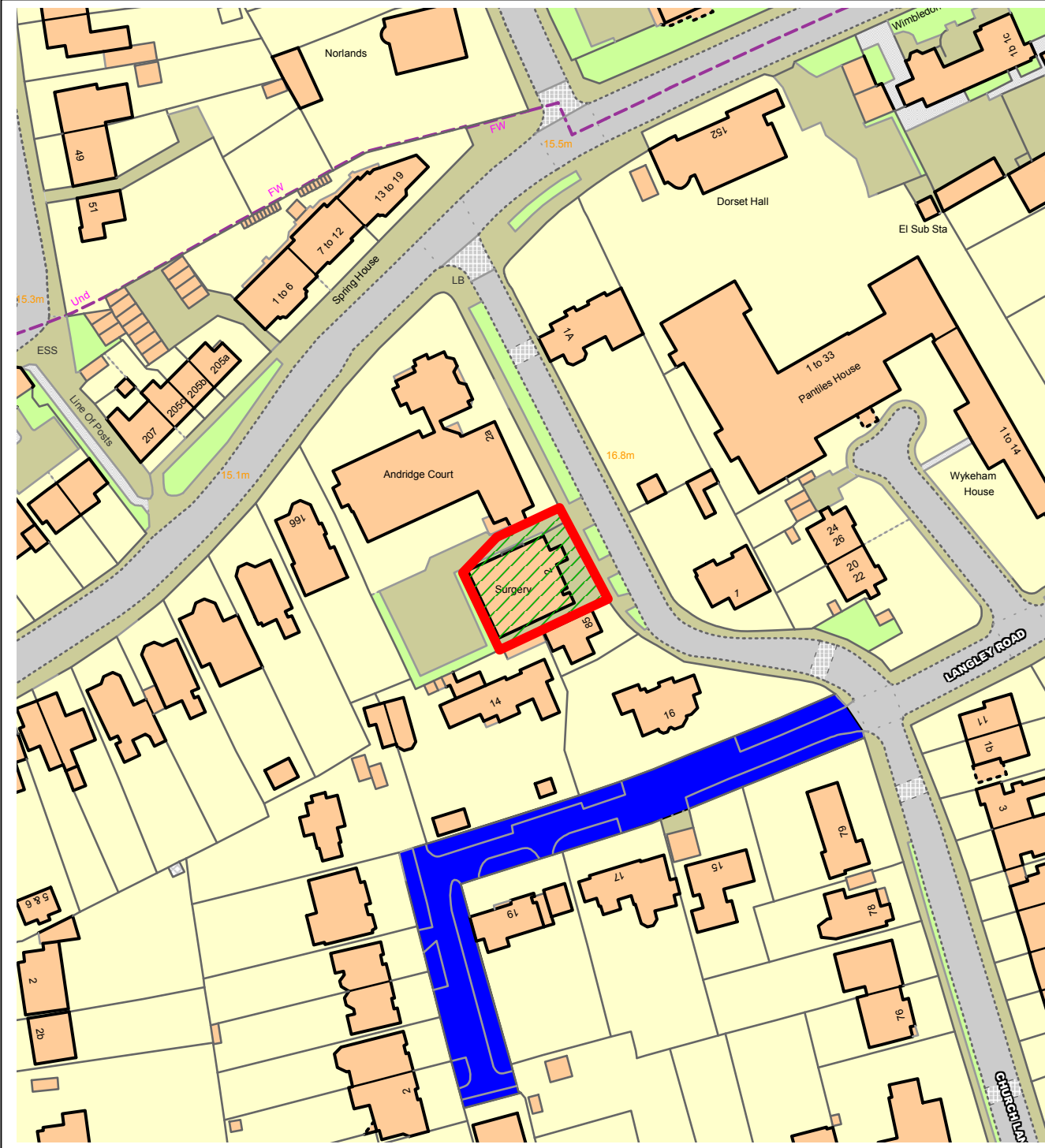
#### Informatives

1. INF 01 Party Walls Act
2. INF 20 Street naming and numbering
3. INF Sustainability
4. Note to Applicant – approved schemes

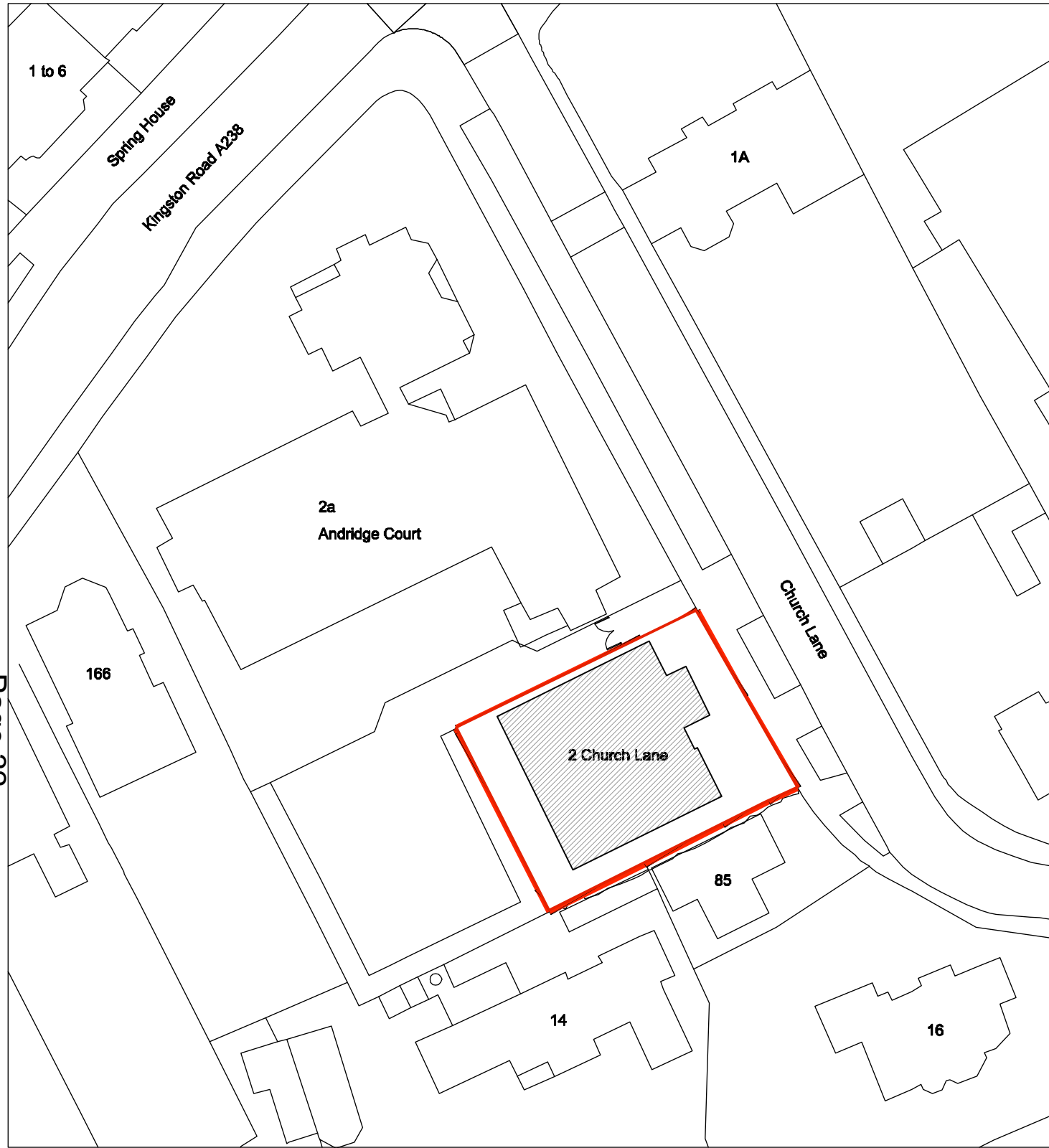
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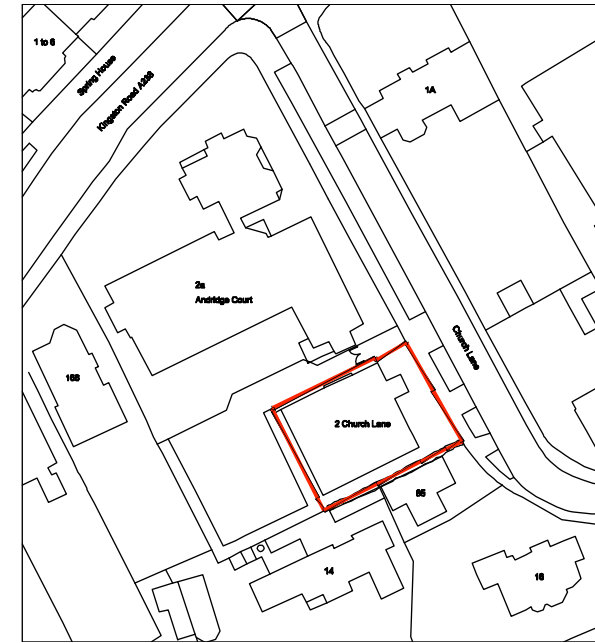


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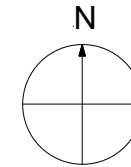


Block Plan 1:500

Page 32



Location Plan 1:1250



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**Comments:**

Status: PLANNING

Project:  
2 Church Lane SW19

Client:  
SA

Drawing:  
**Location & Block Plan**

Project No:  
**1702**

Drawing No:  
EX-01

Revision:  
-

Scale:  
1:500 & 1250 @ A3

Drawn By:  
RO

Date:  
JUL '19

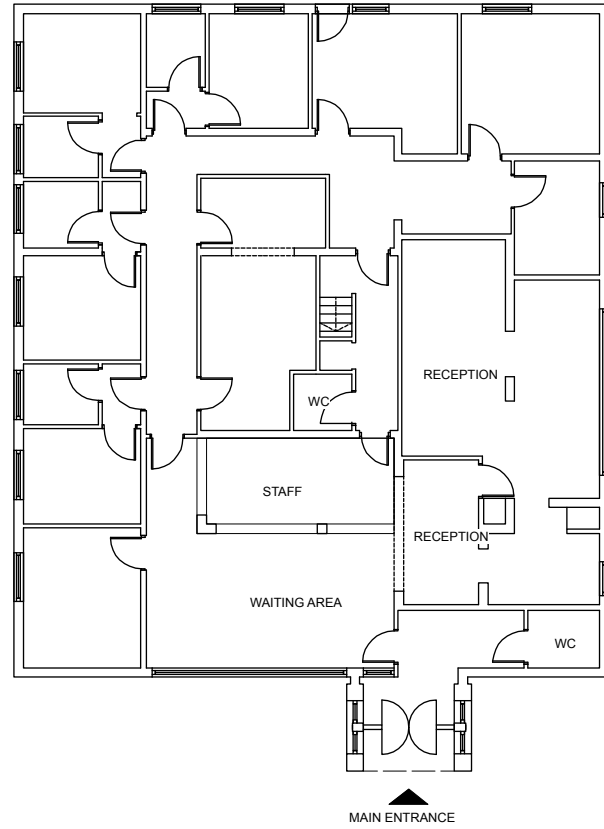
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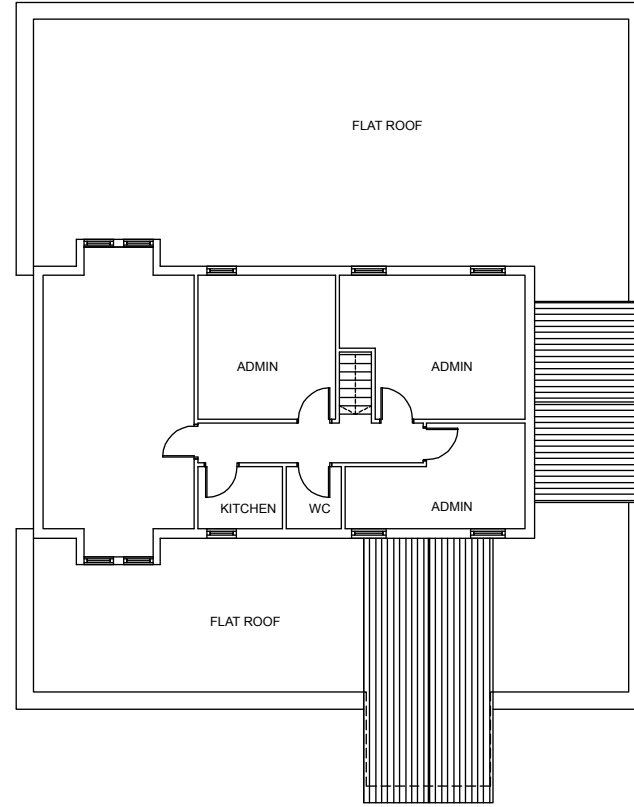
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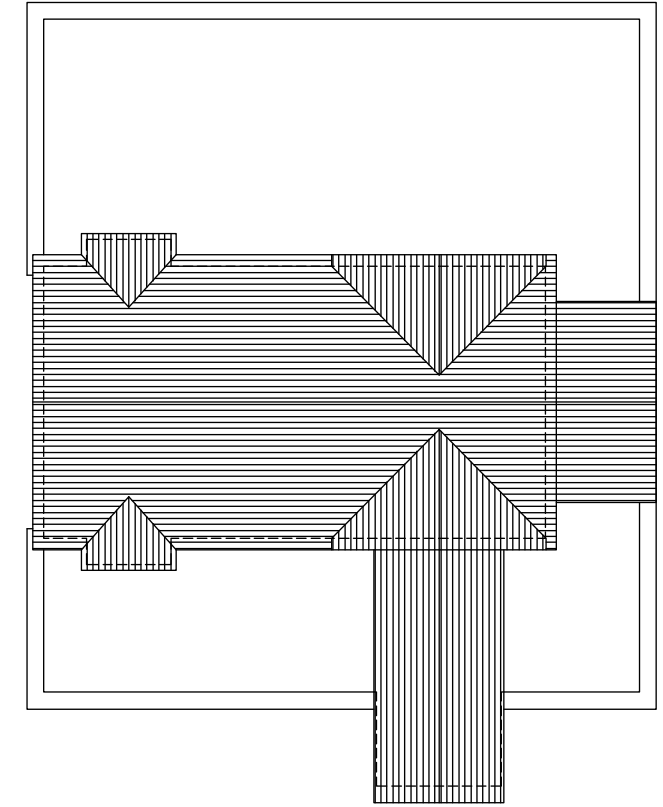
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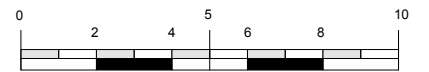
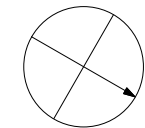
Ground Floor



First Floor



Roof



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Project:  
 2 Church Lane SW19

Client:  
 SA

Drawing:  
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 1702

Drawing No:  
 EX-02

Revision:  
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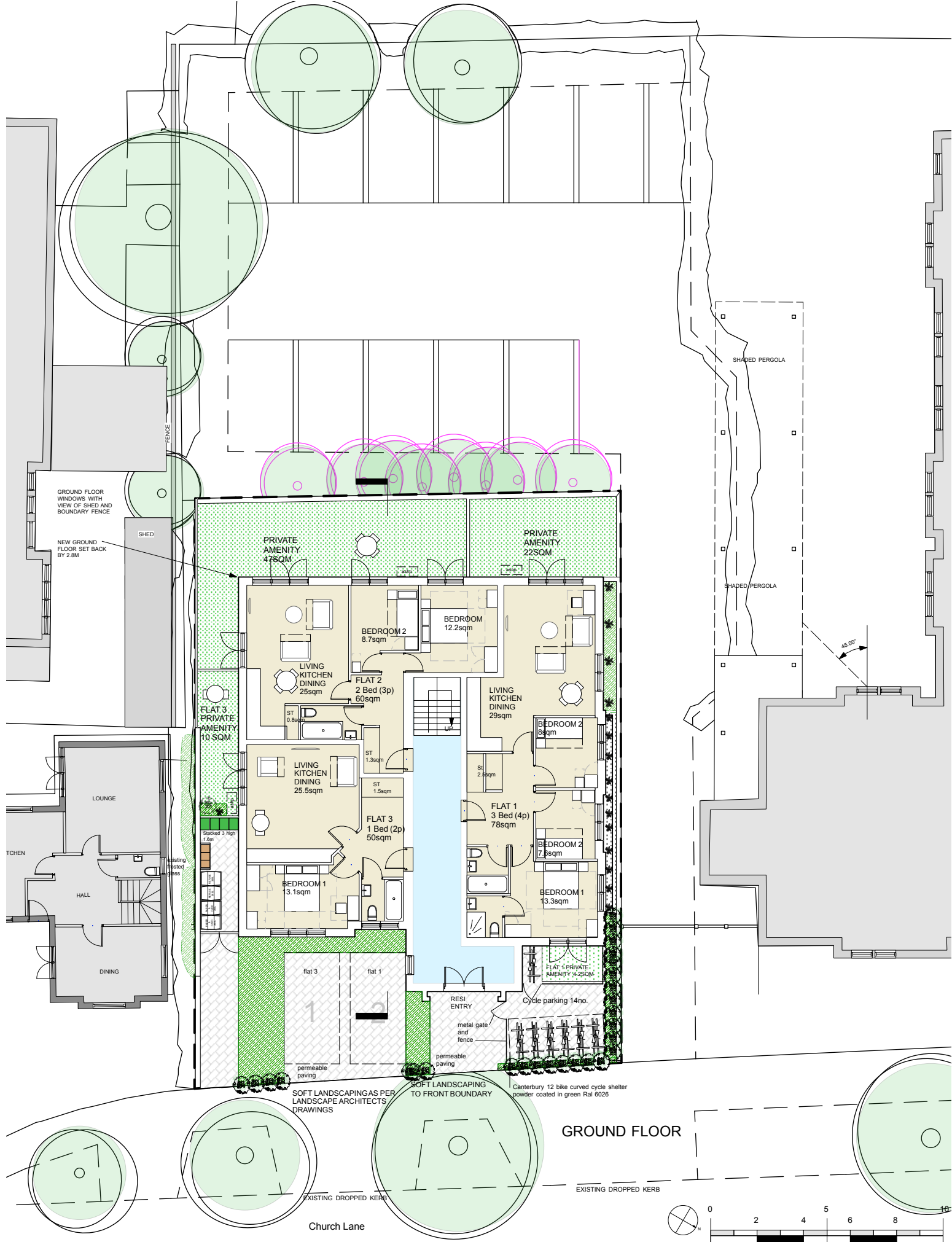
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GROUND FLOOR

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Client: Mr Ansari		architectural consulting	
Drawing: Ground Floor Plan		a 106-108 Bermondsey Street London SE1 3TX e info@ornarchitects.co.uk t +44 (0)7796 104 287	
Project No: 1702	Drawing No: PL03	Revision: G	Scale: 1:2000 A4 1:1000 A2
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Status: PLANNING

SHADED PERG

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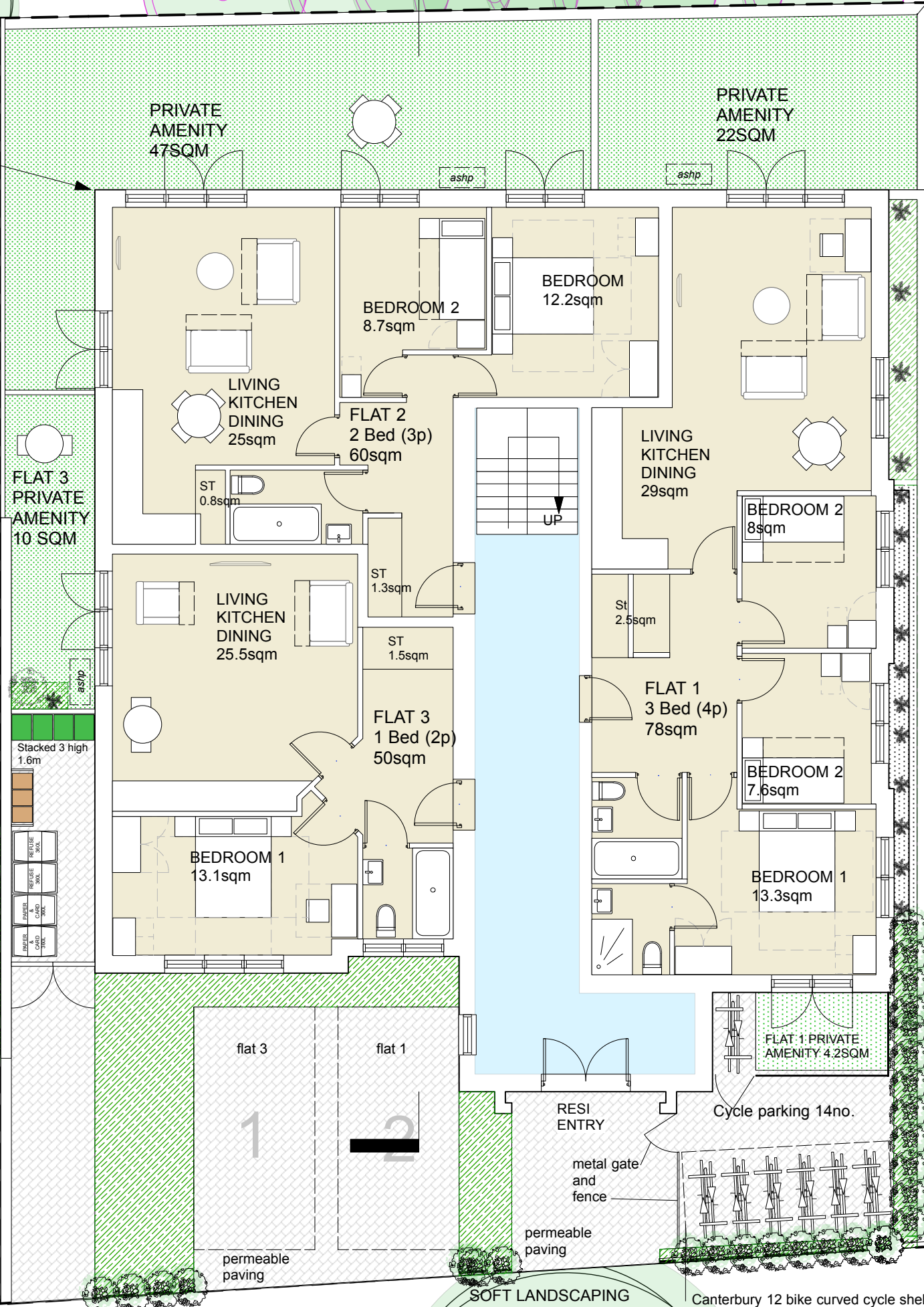
CK

SHADED PERGOL

UNGE

DINING

existing  
frosted  
glass



FLAT 3  
PRIVATE  
AMENITY  
10 SQM

PRIVATE  
AMENITY  
47SQM

PRIVATE  
AMENITY  
22SQM

BEDROOM 2  
8.7sqm

BEDROOM  
12.2sqm

LIVING  
KITCHEN  
DINING  
25sqm

FLAT 2  
2 Bed (3p)  
60sqm

LIVING  
KITCHEN  
DINING  
29sqm

BEDROOM 2  
8sqm

ST  
0.8sqm

UP

St  
2.5sqm

LIVING  
KITCHEN  
DINING  
25.5sqm

ST  
1.3sqm

ST  
1.5sqm

FLAT 3  
1 Bed (2p)  
50sqm

FLAT 1  
3 Bed (4p)  
78sqm

BEDROOM 2  
7.6sqm

BEDROOM 1  
13.1sqm

BEDROOM 1  
13.3sqm

FLAT 1-PRIVATE  
AMENITY 4.2SQM

flat 3

flat 1

RESI  
ENTRY

Cycle parking 14no.

metal gate  
and  
fence

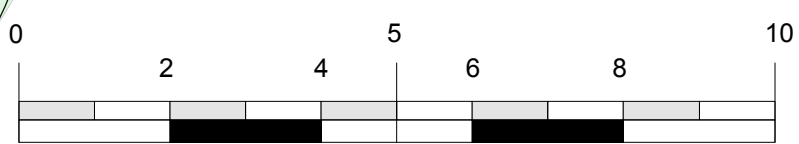
permeable  
paving

SOFT LANDSCAPING AS PER  
LANDSCAPE ARCHITECTS  
DRAWINGS

SOFT LANDSCAPING  
TO FRONT BOUNDARY

Canterbury 12 bike curved cycle shelter  
powder coated in green Ral 6026

# GROUND FLOOR



Church Lane

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02 MAR '20 (D) Following Planning Meeting



Project:  
2 Church Lane SW19

Client:  
Mr Ansari

Drawing:  
Ground Floor Plan

**ORN Architects**

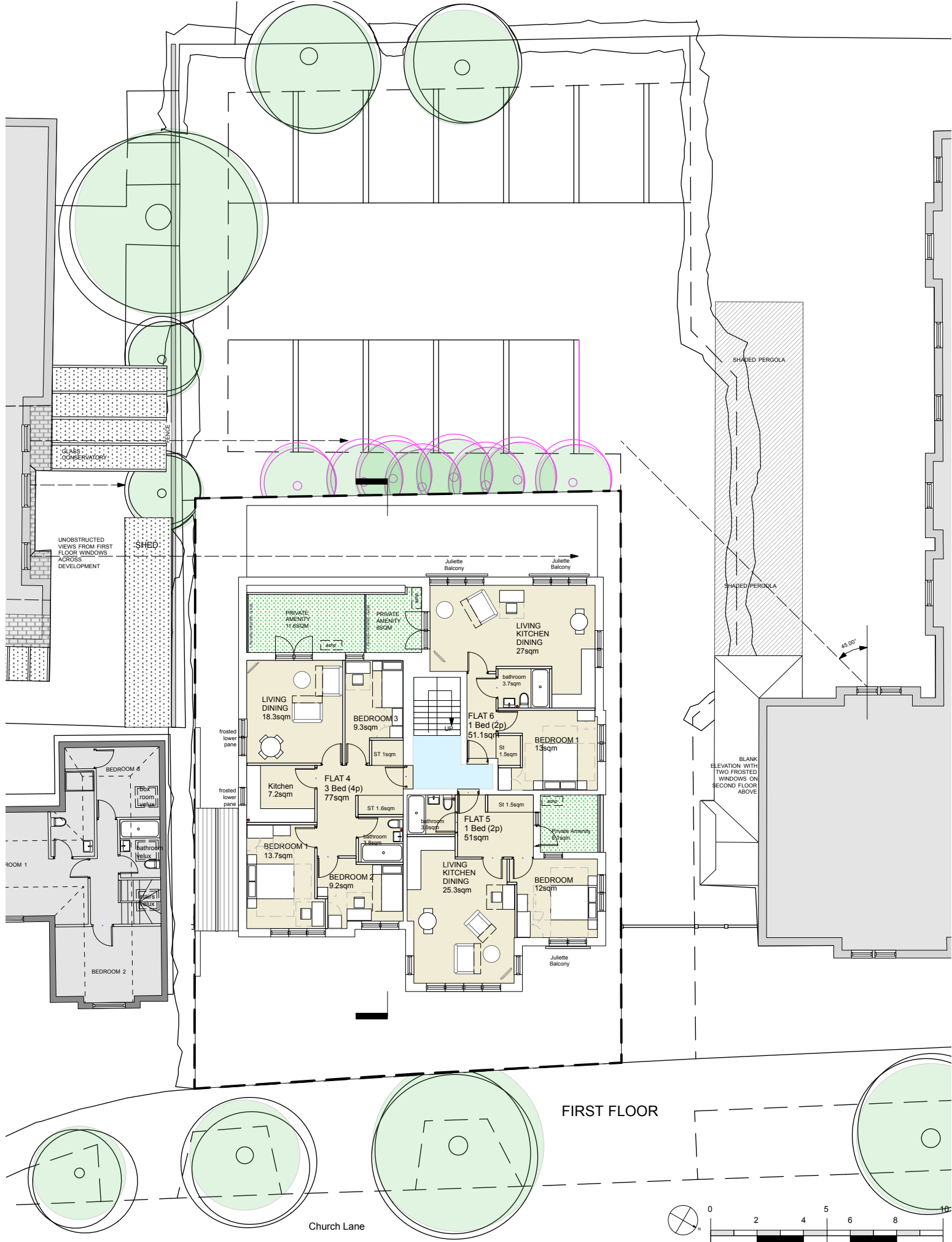
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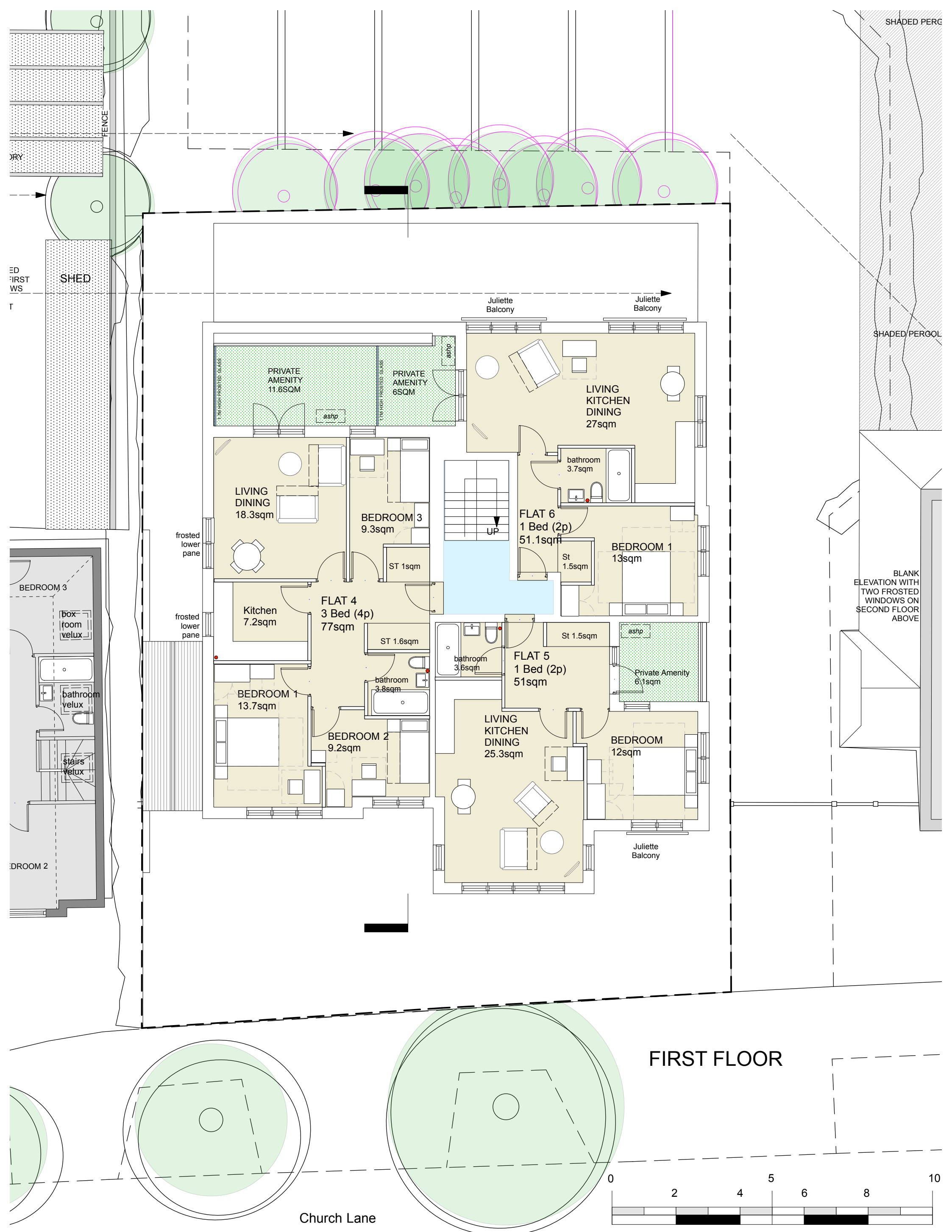


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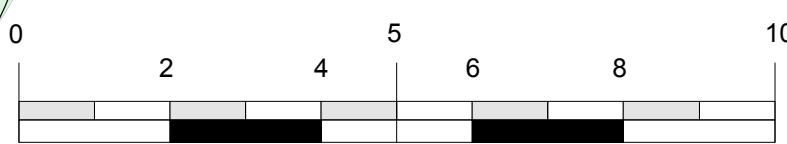
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Client: Mr Ansari		architectural consulting			
Drawing: First Floor Plan		a 106-108 Bermondsey Street London SE1 3TX e info@ornarchitects.co.uk t +44 (0)7796 104 287			
Project No: 1702	Drawing No: PL04	Revision: G	Scale: 1:2000 A4 1:1000 A2	Drawn By: RO	Date: JUL '19
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FIRST FLOOR



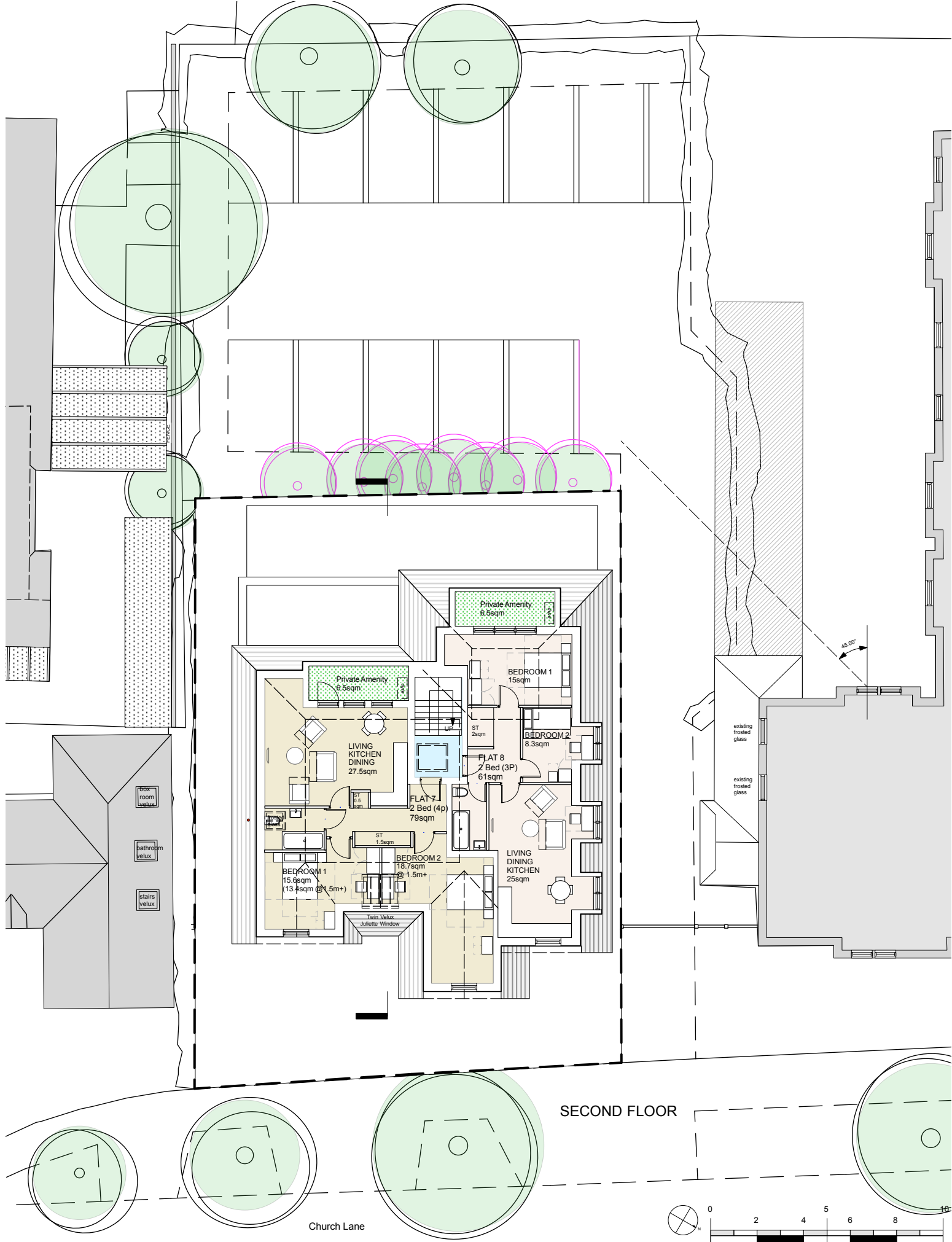
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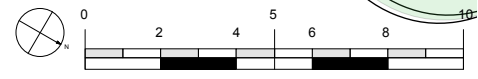


Project: 2 Church Lane SW19		<b>ORN Architects</b>			
Client: Mr Ansari		architectural consulting			
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SECOND FLOOR

Church Lane



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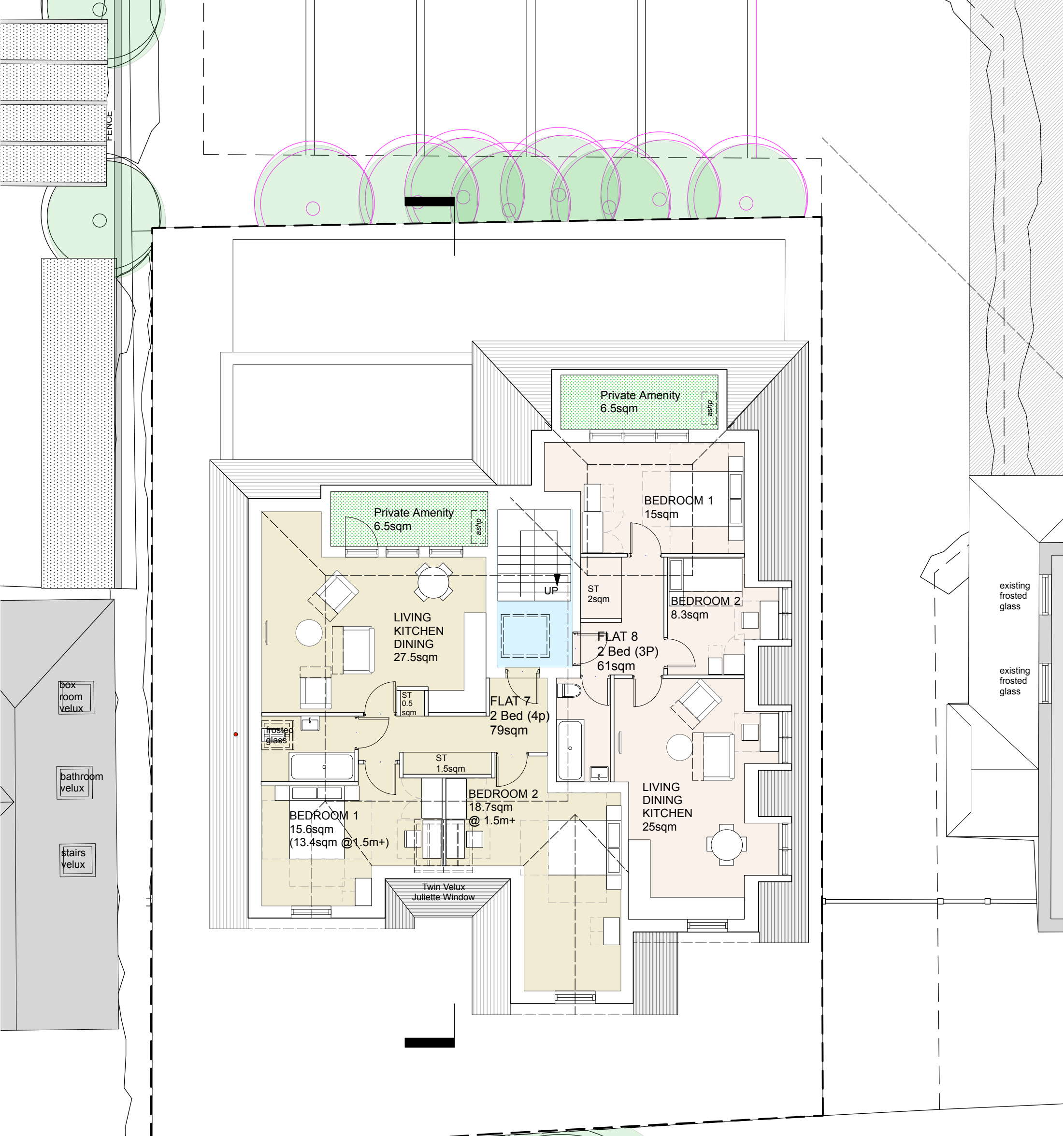
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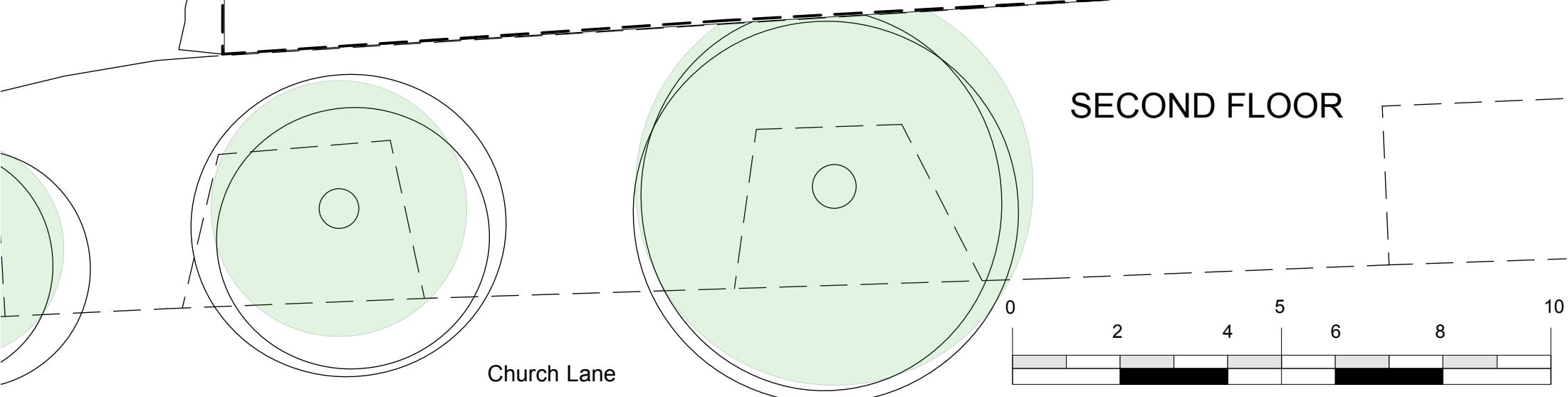
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Project: 2 Church Lane SW19		<b>ORN Architects</b>	
Client: Mr Ansari		architectural consulting	
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Project No: 1702	Drawing No: PL05	Revision: G	Scale: 1:200B A4 1:100B A2
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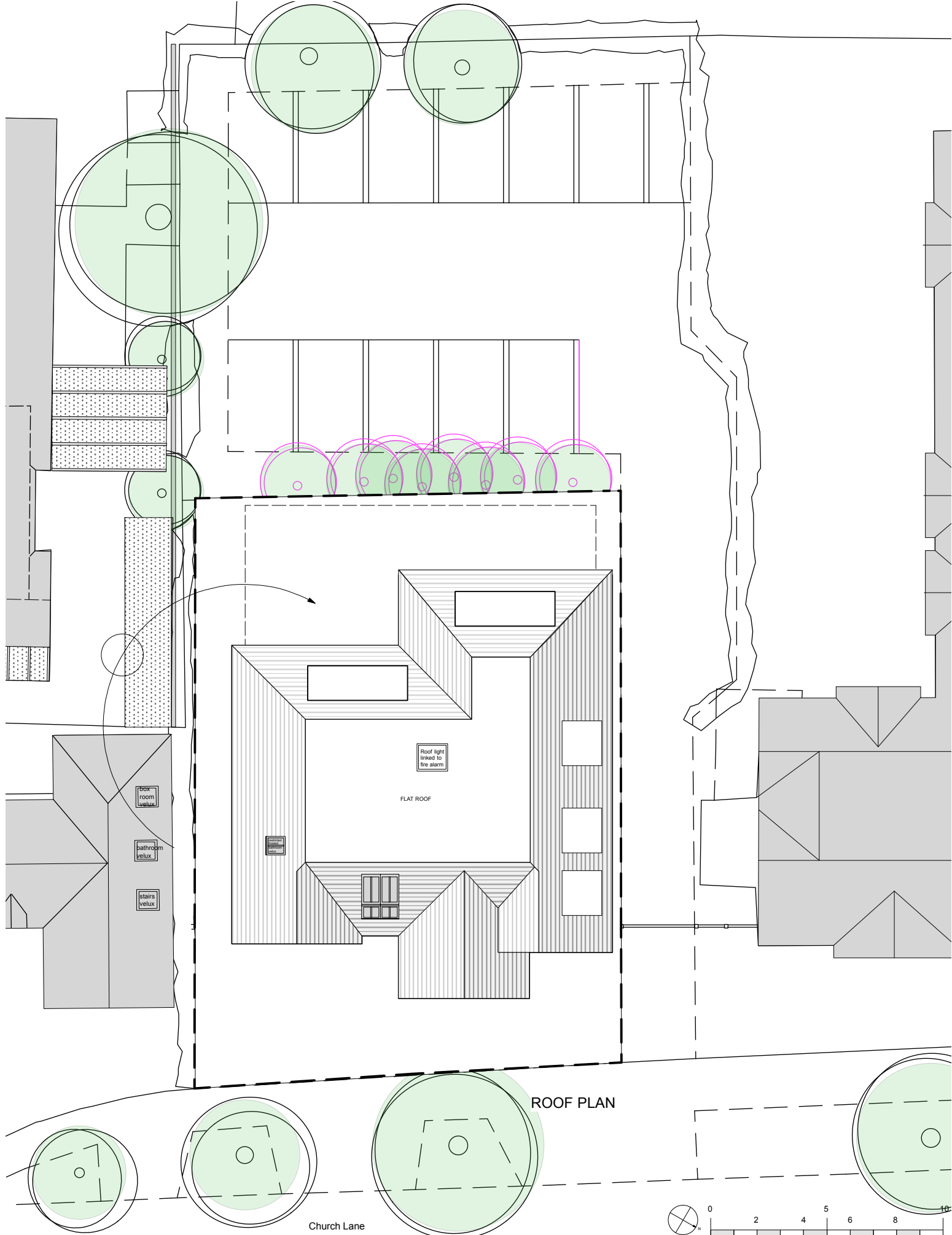


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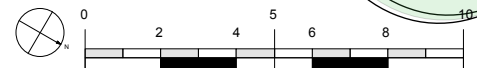
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Client: Mr Ansari		architectural consulting			
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Church Lane

ROOF PLAN



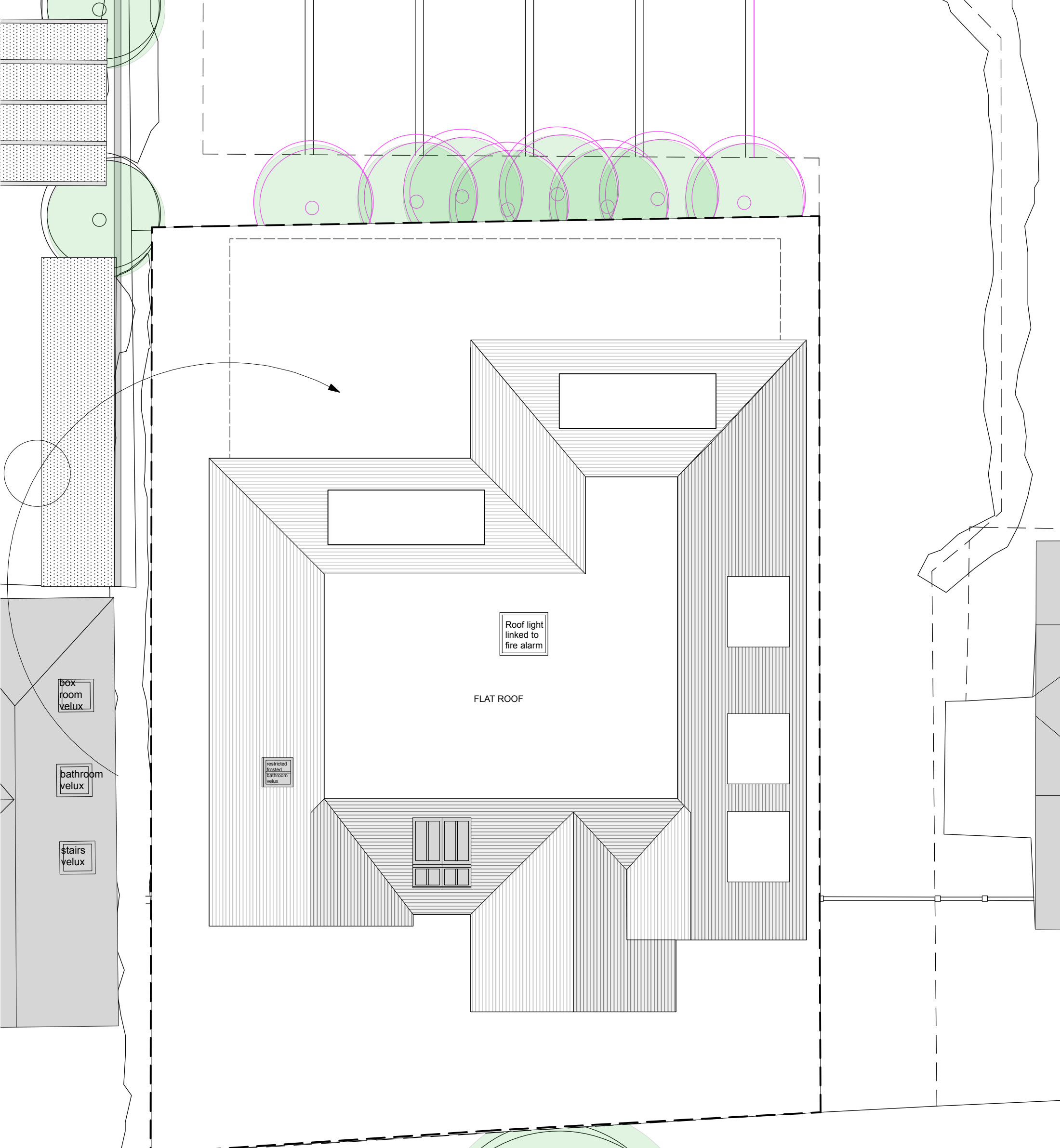
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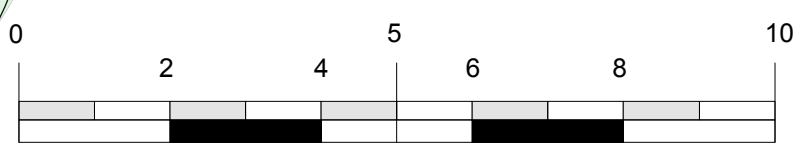
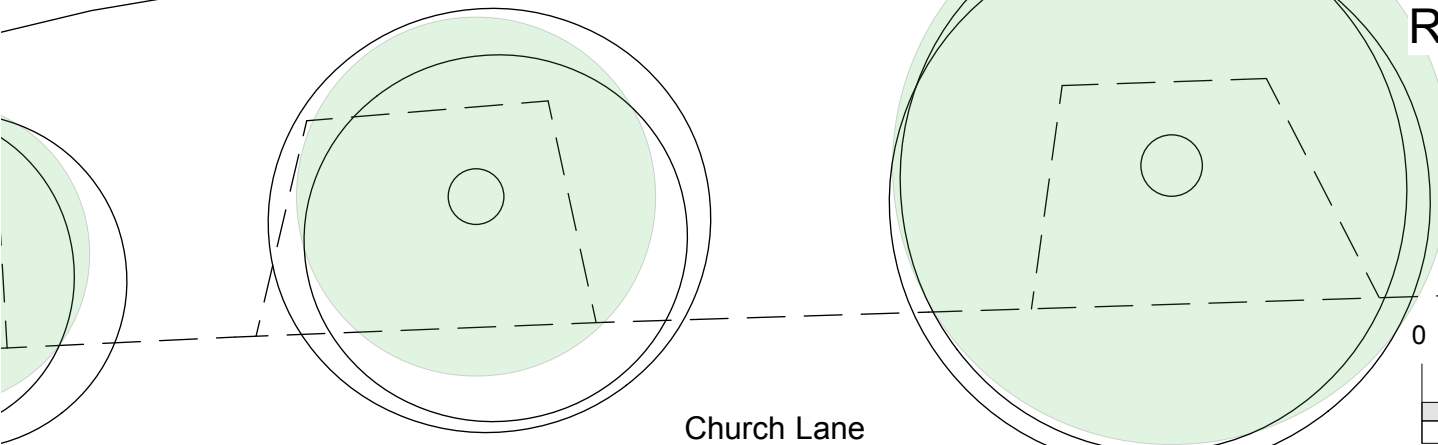
Comments:  
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Page 40

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Client: Mr Ansari								
Drawing: Roof Plan		Project No: 1702	Drawing No: PL07	Revision: G	Scale: 1:2000 A4 1:1000 A2	Drawn By: RO	Date: JUL '19	Checked: -



**ROOF PLAN**

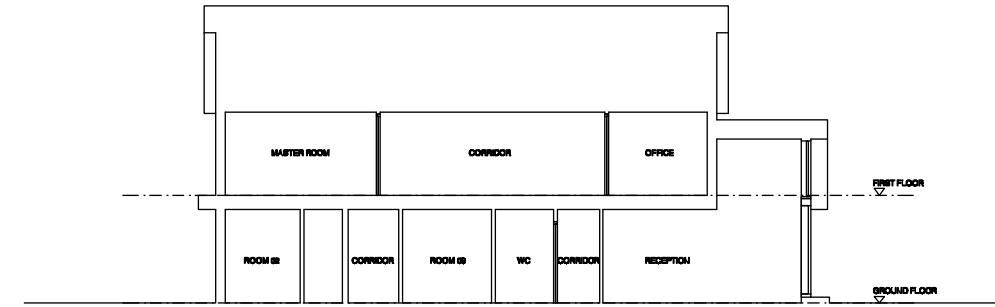


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Client: Mr Ansari								
Drawing: Roof Plan		Project No: 1702	Drawing No: PL27	Revision: G	Scale: 1:100@A3	Drawn By: RO	Date: JUL '19	Checked: -

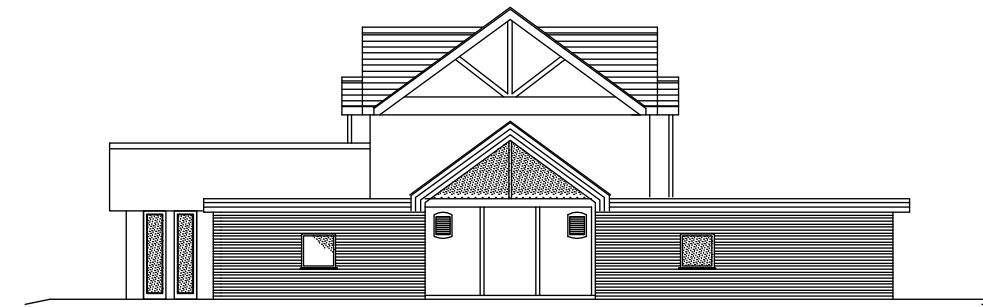
Status: PLANNING



Section A-A



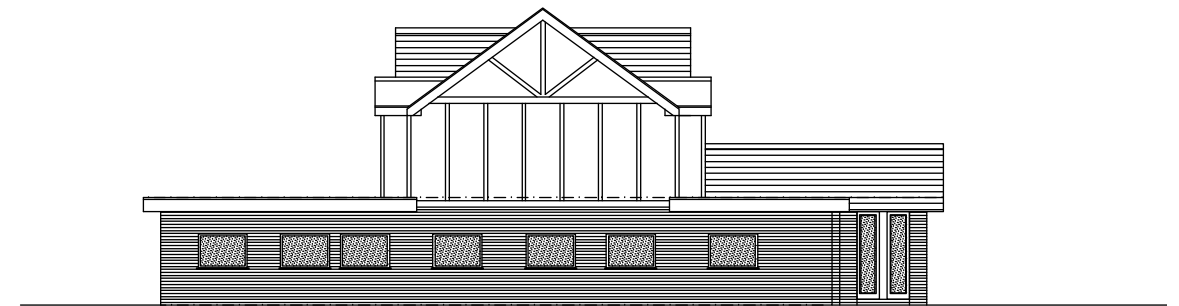
Front Elevation (East)



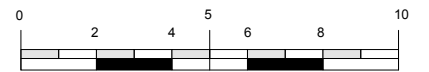
Side Elevation (North)



Rear Elevation (West)



Side Elevation (South)



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Status: PLANNING

**Comments:**

Project:  
2 Church Lane SW19

Client:  
SA

Drawing:  
**EXISTING ELEVATIONS**

Project No:  
1702

Drawing No:  
EX-03

Revision:  
-

Scale:  
1:200@ A3

Drawn By:  
RO

Date:  
JUL '19

Checked:  
-

**ORN Architects**

architectural consulting

a 106-108 Bermondsey Street London SE1 3TX  
 e info@ornarchitects.co.uk t +44 (0)7796 104 287



NO OVERLOOKING TOWARDS SIDE ROOFLIGHTS OF No.85

BOUNDARY LINE

IMPROVED SKY VIEW FROM NEIGHBOURING GROUND FLOOR WINDOW  
VIEW FROM NEIGHBOURING ROOF LIGHTS

ROOFING PAN TILES IN KEEPING WITH CONSERVATION AREA

DECORATIVE RIDGE TILES IN KEEPING WITH CONSERVATION AREA

IBSTOCK RED LEICESTER FACING BRICKS

LEAD COVERED DORMERS

BOUNDARY LINE

ANDRIDGE COURT



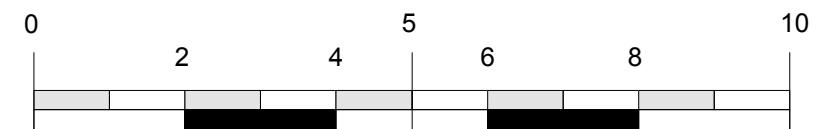
FROSTED BATHROOM WINDOW

SOFT LANDSCAPING TO FRONT BOUNDARY

85 CHURCH LANE

2 CHURCH LANE - APPLICATION SITE

2a ANDRIDGE COURT



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**Comments:**

02 MAR '20 (D) Following planning meeting  
10 MAR '20 (E) Red brick added  
11 MAR '20 (F) Photo voltaics added following planning meeting

Status: PLANNING

Project: 2 Church Lane SW19		<b>ORN Architects</b> architectural consulting				
Client: MR ANSARI						
Drawing: Front Elevation		a 106-108 Bermondsey Street London SE1 3TX e info@ornarchitects.co.uk t +44 (0)7796 104 287				
Project No: 1702	Drawing No: PL08	Revision: G	Scale: 1:100@A3	Drawn By: RO	Date: JUL '19	Checked: -





ANDRIDGE COURT

IBSTOCK  
RED LEICESTER  
FACING BRICKS

LEAD COVERED  
DORMERS

SECOND FLOOR  
RECESSED PRIVATE  
AMENITY SPACE

METAL JULIETE  
BALCONY STYLE  
TO MATCH  
CONTEXT

SECOND FLOOR  
RECESSED PRIVATE  
AMENITY SPACE

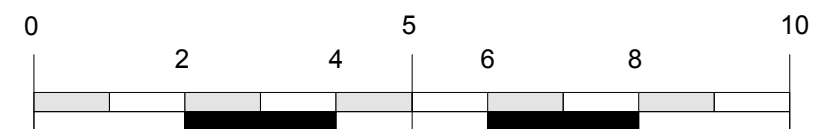
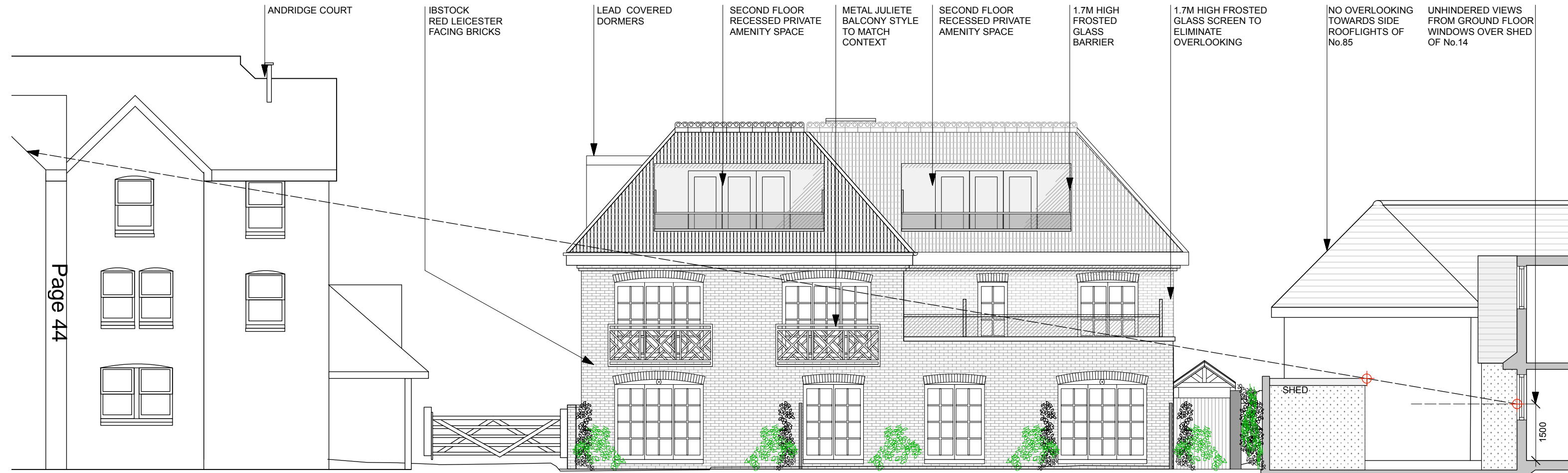
1.7M HIGH  
FROSTED  
GLASS  
BARRIER

1.7M HIGH FROSTED  
GLASS SCREEN TO  
ELIMINATE  
OVERLOOKING

NO OVERLOOKING  
TOWARDS SIDE  
ROOFLIGHTS OF  
No.85

UNHINDERED VIEWS  
FROM GROUND FLOOR  
WINDOWS OVER SHED  
OF No.14

Page 44



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11 MAR '20 (F) Photo voltaics added following planning meeting

Status: PLANNING

Project: 2 Church Lane SW19		<b>ORN Architects</b> architectural consulting				
Client: MR ANSARI						
Drawing: Rear Elevation		a 106-108 Bermondsey Street London SE1 3TX e info@ornarchitects.co.uk t +44 (0)7796 104 287				
Project No: 1702	Drawing No: PL09	Revision: G	Scale: 1:100@A3	Drawn By: RO	Date: JUL '19	Checked: -



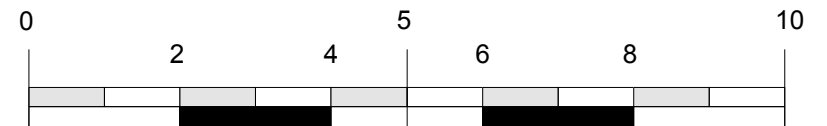
IBSTOCK  
RED LEICESTER  
FACING BRICKS



3No. IBSTOCK ECO  
HABIT SWIFT BOXES  
BUILT INTO WALL  
BEHIND RENDER

REAR WINDOWS OF  
No. 14 UNHINDERED  
DUE TO  
DEVELOPMENT

OUTLINE OF  
NEIGHBOUR  
No. 14



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Status: PLANNING

**Comments:**  
02 MAR '20 (D) Following planning meeting  
10 MAR '20 (E) Red brick added  
11 MAR '20 (F) Photo voltaics added following planning meeting

Project: 2 Church Lane SW19		<b>ORN Architects</b> architectural consulting			
Client: MR ANSARI					
Drawing: Side Elevation East		a 106-108 Bermondsey Street London SE1 3TX e info@ornarchitects.co.uk t +44 (0)7796 104 287			
Project No: 1702	Drawing No: PL11	Revision: H	Scale: 1:100@A3	Drawn By: RO	Checked: -



ANDRIDGE COURT IN BACKGROUND

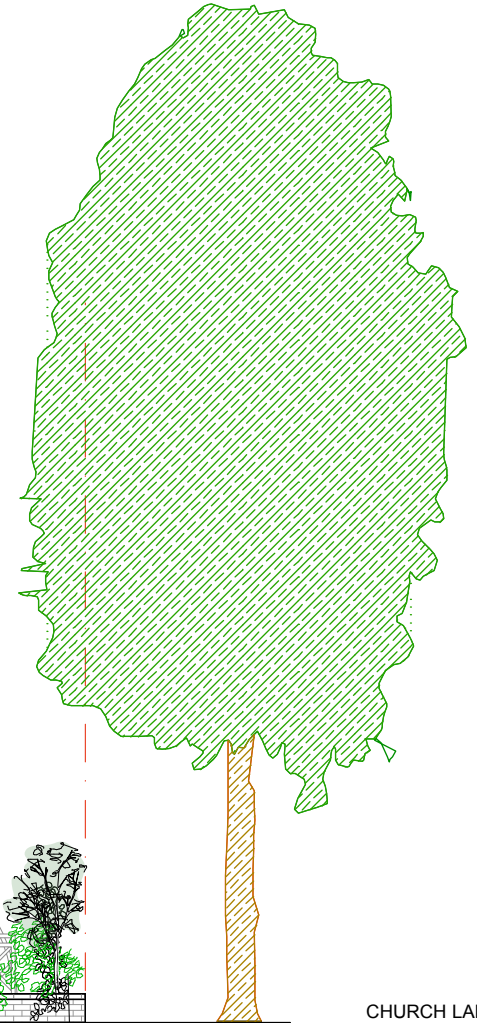
PROPOSED MASS SET BACK

1.7M TALL FROSTED GLASS SCREEN FOR PRIVACY

IBSTOCK RED LEICESTER FACING BRICKS

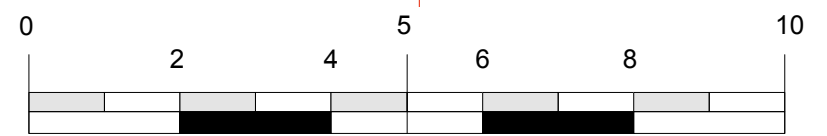
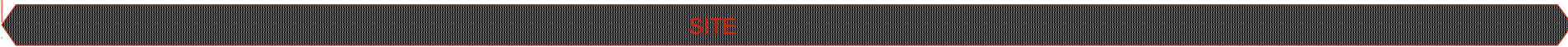
PROPOSED DEVELOPMENT AT No. 2 CHURCH LANE

3No. IBSTOCK ECOHABIT SWIFT BOXES BUILD INTO BRICKWORK



CHURCH LANE

SECURE CYCLE SHELTER BEHIND  
SOFT LANDSCAPING TO FRONT BOUNDARY



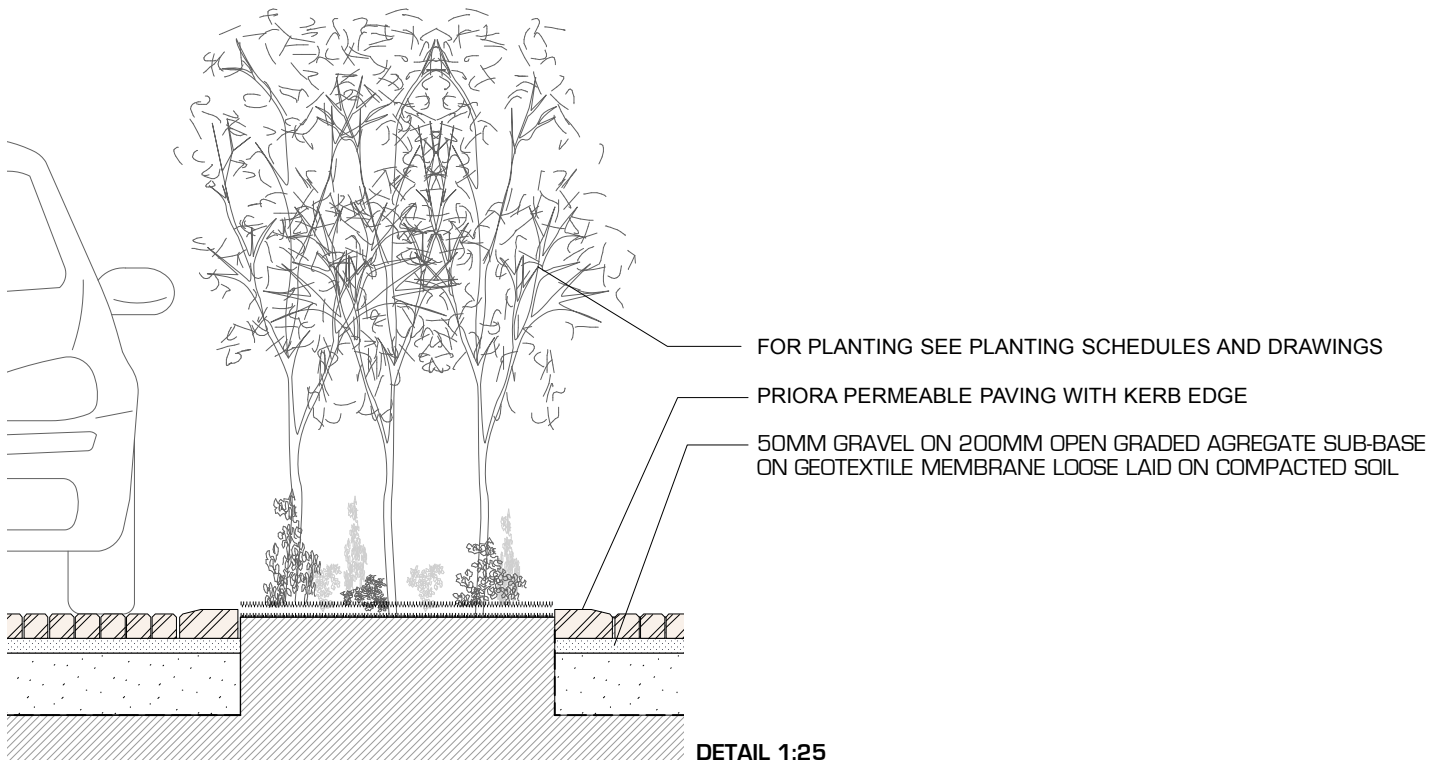
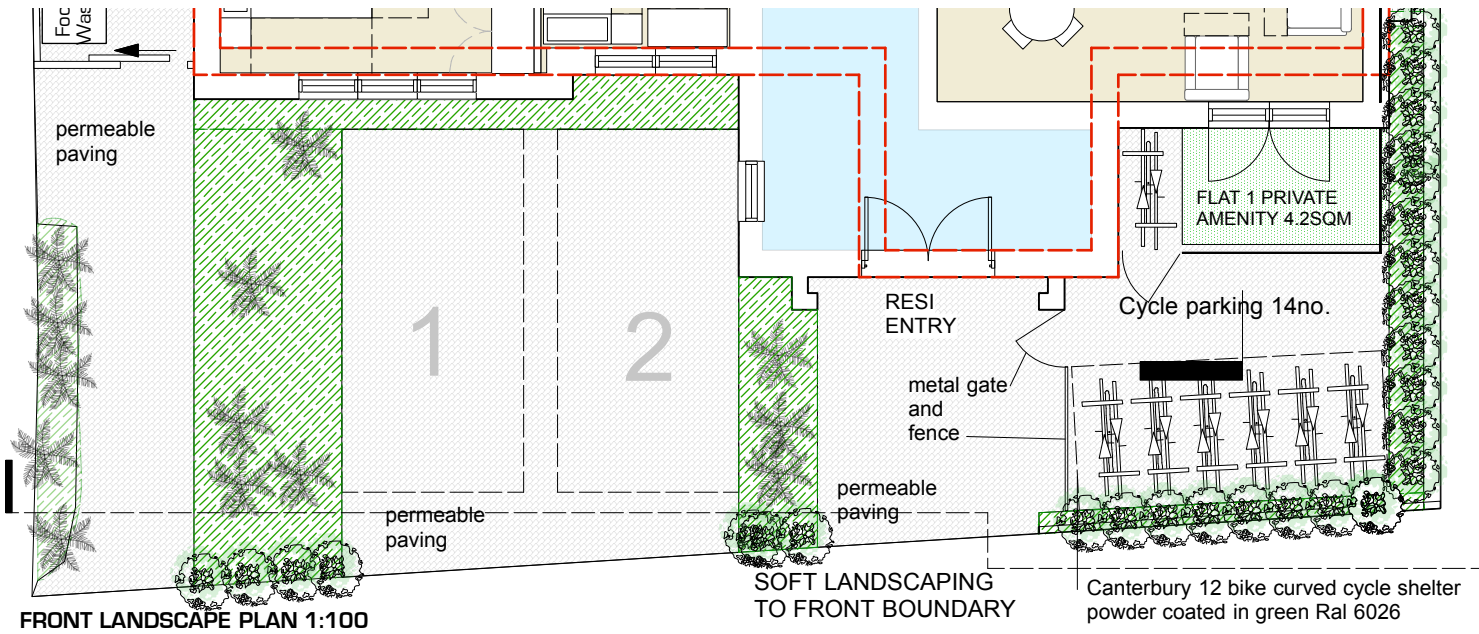
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Status: PLANNING

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02 MAR '20 (D) Following planning meeting  
10 MAR '20 (E) Red brick added  
11 MAR '20 (F) Photo voltaics added following planning meeting

Project: 2 Church Lane SW19		<b>ORN Architects</b> architectural consulting				
Client: MR ANSARI						
Drawing: Side Elevation West		a 106-108 Bermondsey Street London SE1 3TX e info@ornarchitects.co.uk t +44 (0)7796 104 287				
Project No: 1702	Drawing No: PL10	Revision: G	Scale: 1:100@A3	Drawn By: RO	Date: JUL '19	Checked: -





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Status: PLANNING

Comments:

**Page 47**

Project: 2 Church Lane SW19		<b>ORN Architects</b> architectural consulting	
Client: Mr Ansari			
Drawing: Landscape Detail		a 106-108 Bermondsey Street London SE1 3TX info@ornarchitects.co.uk +44 (0)7796 104 287	
Project No: 1702	Drawing No: PL90	Revision: -	Scale: 1:100 @ A4 1:1.25 @ A4
	Drawn By: RO	Date: JUL '19	Checked: -

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## PLANNING APPLICATIONS COMMITTEE

14<sup>th</sup> May 2020

<u>UPRN</u>	<u>APPLICATION NO.</u>	<u>Item No:</u> <u>DATE VALID</u>
	20/P0420	20/01/2020
<b>Address/Site</b>	The All England Lawn Tennis and Croquet Club Church Road, Wimbledon, London, SW19 5AE	
<b>(Ward)</b>	Village	
<b>Proposal:</b>	Erection of a two storey media pavilion, replacement of temporary cabins with a dedicated technical services room (TSR), and reconfiguration of gate 20 including the relocation and widening of existing access/egress, relocation of existing gatehouse building, new accreditation hut and gatehouse building, landscaping and associated works.	
<b>Drawing Nos</b>	0010 XX DR A / 0001, 0010 03 DR A / 0020, 0010 04 DR A / 0021, 0010 05 DR A / 0022, 0010 04 DR A / 0023, 0010 05 DR A / 0024, 0010 03 DR A / 0030, 0010 04 DR A / 0031, 0010 05 DR A / 0032, 0010 04 DR A / 0033, 0010 05 DR A / 0034, 0010 XX DR A / 0050, 0010 XX DR A / 0071, 0010 03 DR A / 0203, 0010 04 DR A / 0204, 0010 05 DR A / 0205, 0010 ZZ DR A / 0240, 0010 ZZ DR A / 0241, ZZ DR A / 0270, 0010 ZZ DR A / 0271, 0010 ZZ DR A / 0272, 0010 ZZ DR A / 0273, 0010 ZZ DR A / 0320, 0010 04 DR A 0201, 0010 05 DR A 0202, 0010 ZZ DR A 0220, 0010 ZZ DR A 0221, 0010 ZZ DR A 0224, 0010 ZZ DR A 0240, 0010 ZZ DR A 0241, 0010 05 DR A 0020 and 0010 XX DR A 0021.	
<b>Contact Officer:</b>	Stuart Adams (0208 545 3147)	

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### RECOMMENDATION

**GRANT Planning Permission subject to conditions and S106 agreement.**

### CHECKLIST INFORMATION.

- Heads of agreement: - Highway works (double yellow lines)
  - Is a screening opinion required: No
  - Is an Environmental Statement required: No
  - Has an Environmental Impact Assessment been submitted – No
  - Press notice – Yes
  - Site notice – Yes
  - Design Review Panel consulted – No
  - Number of neighbours consulted – 160
  - External consultations – No.
  - PTAL score – 1a/1b
  - CPZ – VNS (Somerset Road) – VN (Marryat Road)
- 

## 1. **INTRODUCTION**

- 1.1 The application has been brought before the Planning Application Committee for consideration in light of the number and nature of objections received against the application and officer recommendation of grant permission subject to conditions and S106 agreement.

## 2. **SITE AND SURROUNDINGS**

- 2.1 The application site comprises the site of The All England Lawn Tennis and Croquet Club (AELTC) on Church Road, Wimbledon. The whole site area is 17.3 ha, however the AELTC site spans across two site areas situated either side of Somerset Road. The main (larger) of the two site areas is located on the eastern side of Somerset Road and the smaller site area is located on the western side of Somerset Road.
- 2.2 The area located to the east of Somerset Road comprises the main leisure and recreational facility of the AELTC. This part of the site is subject of the current application. To the Northwest and North of the application site is Oakfeild Estate (residential tower blocks including Burghley & Somerset House). To the West and Southwest, on the opposite of Somerset Road, are detached and terraced houses in Somerset Road and Newstead Way.
- 2.3 The area located to the west of Somerset Road is currently being redeveloped which is known as the covered courts site. All buildings have been demolished and building are been implemented in accordance with planning approval 16/P4651. This permission granted full planning permission for demolition of the former 5 x covered tennis courts and erection of a new building comprising of 6 x indoor courts and associated facilities, 6 x outdoor tennis courts, single storey basement for parking, 9

external covered car parking spaces, relocation of chiller plant (which services centre court roof) and associated soft/hard landscaping.

- 2.4 The application site is partly designated as Metropolitan Open Land (MOL), Open Space and a Green Corridor within Merton's adopted Sites and Policies Plan 2014. The site is not within a Conservation Area.

### 3. **CURRENT PROPOSAL**

- 3.1 Erection of a two storey media pavilion, replacement of temporary cabins with a dedicated Technical Services Room (TSR), and reconfiguration of gate 20 including the relocation and widening of existing access/egress, relocation of existing gatehouse building, new accreditation hut and gatehouse building, landscaping and associated works.

#### 3.2 Gate 20

- 3.2.1 The Gate 20 compound is approximately 3000m<sup>2</sup> of back of house space for the AELTC. It is located at the northern most point of Somerset Road, adjacent to the Broadcast Centre and Court 18.

- 3.2.2 The existing Gate 20 area is treated as a back of house area and has an untidy appearance. Outside of The Championships, the existing Gate 20 compound is currently used for the haphazard storage of miscellaneous items of machinery and is used as the primary access and egress for vehicles accessing Car Park 4 further to the east. During The Championships, the Gate 20 area is used on an ad hoc basis for the parking of some broadcast/media vehicles and the primary access and egress point for staff and AELTC Members accessing Car Park 4.

- 3.2.3 The proposed compound for the Gate 20 area seeks to serve two primary purposes, as follows:

#### Outside The Championships

For the majority of the year (outside the annual Championships period) the compound will be used for the storage of the AELTC's stock of plants and trees. The plants and trees are used as part of The Championships and currently stored in various locations both on and off the site. The new compound will allow for the organised, tidy and efficient storage of these plants and trees.

#### During The Championships

The new compound will enable the relocation of broadcast vehicles from the Broadcast Centre service yard which is accessed via Gate

16 (further to the south in Somerset Road) to Gate 20 which will free up space in the existing service yard. The broadcast vehicles will arrive on site up to 4 weeks prior to The Championships and will pack up and leave within 1 week after The Championships (usually the day after due to the media going on to other sporting events). A new accreditation hut is proposed to the north east of the compound which will be used for the accreditation of media who will then pass through a secure line to the Broadcast Centre to the south.

3.2.4 In order to accommodate the new compound area, the following physical works are proposed:

- Relocation and widening of the existing Gate 20 access/egress point further north west along Somerset Road and adjusting of the internal access road to accommodate the relocated access;
- Relocation of the existing gatehouse which fronts Somerset Road to be adjacent to the amended access/egress point, and provision of a new gatehouse further within the site along the internal access road. Both gatehouses have a footprint of approximately 6sqm and a maximum height of 3.2m;
- Levelling parts of the compound to create a series of terraces which will improve access and provide level areas for the broadcast vehicles to park on during The Championships;
- New surfacing to all areas within the compound including distinct surfaces to identify pedestrian priority areas;
- Provision of a new Accreditation Hut to the north of the compound adjacent to the relocated Gate 17 (within the site) to provide pedestrian access for media through to the Broadcast Centre and main site. The Accreditation Hut is approximately 3.5m in height and has a footprint of 50sqm;
- A new path from the relocated Gate 17 to the Broadcast Centre adjacent to the existing trees which is known as the 'Woodland Walk'. This will involve the removal of three existing trees which will be replaced elsewhere within the application site boundary; and
- Installation of services and amenities to support the year round storage of plants and the temporary broadcast vehicles overlay during The Championships.

#### Highways

3.2.5 With regards traffic and transport works/operations, the proposal includes:

- (a) Moving Gate 20 and gatehouse west along Somerset Road

(b) Reinstating the existing footway crossover as footway and extending the footway on the eastern side of Somerset Road to the relocated Gate 20.

(c) Altering the existing highway arrangement i.e. installing double yellow lines on the eastern side of Somerset Road

(d) Levelling parts of the site which will improve access and parking

(e) New surfacing to all areas within the compound

(f) Adjusting the location / alignment of the access road to suit the new Gate 20 location

(g) Installing a new Accreditation and Security Hut to the north of the compound adjacent to a relocated Gate 17 which provides pedestrian access into the AELTC site

3.2.6 There will be three small buildings in the Gate 20 compound which will be permanent. The existing Security Gatehouse 1 will be retained and repositioned on site to suit the new entrance position. The new Accreditation and Security Hut will be located towards the north of the site. This permanent facility is intended for Championship use - to process Media accreditation and security scanning during this time. The new location deeper within the AELTC site seeks to alleviate the queuing of vehicles on Somerset Road.

#### Outside of The Championships

3.2.7 Outside of The Championships, the use of Gate 20 will remain similar to the existing situation. The use of Gate 20 will be monitored and managed by the AELTC alongside the increased use of Gate 1 (in Church Road) as a primary accreditation and entry point for the site, with Gate 20 to be used primarily for exiting the site. The use of Car Park 4 (Accessed via Gate 20) is also expected to be used less following the completion of the Somerset Road covered courts project (which includes 330 car parking spaces).

#### During The Championships

3.2.8 The relocation of Gate 20 and the management of access through Gate 20 will remain unchanged with car park passes being issued in advance of the Championships. One temporary lay-by area will be provided adjacent to Somerset Road and the Accreditation Hut in the event that there are any issues with the pre-accreditation process and vehicles need to pull over temporarily.

- 3.2.9 A separate pedestrian gate is attached to the relocated Gate 20 access point and a pedestrian priority area is provided along the access road to the Accreditation Hut.
- 3.2.10 During the Championships, the broadcast vehicles that currently use the broadcast service yard (location of proposed media building) will be relocated to the reconfigured Gate 20 compound. The broadcast vehicles will arrive on site up to 4 weeks prior to The Championships and leave 1 week after (usually the day after due to the media moving on to other sporting events).
- 3.2.11 During the Championships only there are a small number of car parking spaces adjacent to the Accreditation Hut which will be made available as VIP spaces for media and can also be used for as lay-by spaces if necessary.
- 3.2.12 Proposals for a new accreditation facility at Gate 1 on Church Road are currently being prepared by the AELTC. Once complete, the AELTC state that Gate 1 proposals will enable accreditation to occur in Church Road both outside and during The Championships which will reduce the queuing of vehicles on Somerset Road (which currently occurs whilst vehicles wait for accreditation at Gate 20). A small lay-by area is proposed outside Gate 20 (within the site boundary) which will enable vehicles that try to access Gate 20 without first being accredited to turn around rather than reversing on to Somerset Road. The temporary layby spaces will also be used for random security checks which staff undertake on the occasional vehicle.

### 3.3 Media Pavilion

- 3.3.1 The relocation of the media broadcast vehicles to the Gate 20 compound during the Championships will provide space in the existing broadcast service yard for the construction of a dedicated, Media Pavilion. The Media Pavilion will be a two storey building with a roof terrace that connects into the existing Broadcast Centre. The existing Broadcast Centre has two basement levels that extend under the Broadcast Yard which will be retained.
- 3.3.2 The Media Pavilion will provide an interview Suite with accessible, state of the art facilities. The Interview Suite will be dedicated to interviews during the Championships, but will be used on occasion throughout the year for presentations, conferences and film screenings. It is also likely the Interview Suite will become part of the Wimbledon Museum tour.
- 3.3.3 The Media Pavilion will allow the existing interview facilities to be relocated to a new location outside of the Millennium Building, in turn



enabling the existing Somerset Road tunnel to connect the site to the new Somerset Road covered courts (which are currently under construction).

- 3.3.4 The Media Pavilion has been designed in accordance with the 'Tennis in an English garden' concept in the overarching Masterplan for the site. The building would a combination of terracotta cladding and brick on the facades with large glass openings, sheltered by a canopy overhead. The glass façade is openable, providing a threshold between informal internal and external space.
- 3.3.5 The roof terrace above the Media Pavilion also allows for pop up studios and presentation spaces to supplement those on the existing Broadcast Lawn and will be accessed by a dedicated external stair and platform lift.
- 3.3.6 New bridges and stairs are proposed to connect the Media Pavilion to the Millennium Building to the south. This will allow a fully cohesive Media Centre for the Wimbledon Site. A Player's Bridge is proposed which is half a storey below the Media Pavilion, leading to an inner foyer with access to all interview rooms. The bridge will be formed of a lightweight roof with glass balustrades on either side to allow views in and out whilst being visually consistent with balustrades on the wider site.
- 3.3.7 The existing, balustrade which sits along the edge of the Broadcast Lawn is also proposed to be replaced. The current balustrade has a green canvas added as an overlay during the Championship period, but for both practical and aesthetic reasons the AELTC wishes to upgrade with a balustrade design which complements the Media Balcony and Player's Lawn. The proposed balustrade will feature a timber handrail with horizontal bars and screening panelling which will reflect the aesthetic of the building. A new balustrade will also be installed to the existing Media Bridge and stair connecting the Millennium Building and Broadcast Centre Lawn which will follow the architectural language of the Millennium Building, with glazed infills that are opaque at a low level.

#### 3.4 Technical Services Room (TSR)

- 3.4.1 Located to the west of the proposed Media Pavilion Building, adjacent to Somerset Road, the Technical Services Room (TSR) is proposed to replace the five existing temporary cabins ('Globecast Cabins') with a permanent structure. This will enable the removal of the existing ventilation shaft by integrating the energy strategy with the wider site.
- 3.4.2 The Globecast Cabins are of temporary construction and do not make the most efficient use of the available space. The TSR building will provide a flexible and sustainable home for the Championships IT services and will

facilitate key technical services during the Championships such as Hawkeye. The TSR will allow for a purpose built permanent workspace that fully utilises the footprint available and will also provide dedicated infrastructure to support broadcast trucks in their new location at Gate 20.

- 3.4.3 The TSR building will be a single storey, flat roofed building which has no glazed openings to the western side to avoid any potential for direct overlooking onto Somerset Road and will be clad in Wimbledon green polyester powder coated aluminium panels. The building will be screened with soft landscaping to provide a buffer to the public realm along Somerset Road.
- 3.4.4 Two existing Championships back up power supply units (which are currently located in the broadcast service yard) are proposed to be housed (and fully enclosed) within the existing plant room beneath the TSR building. These units were previously proposed to be located in the new Gate 20 compound but are now proposed to be relocated in response to concerns raised by local residents at the public exhibition.

### 3.5 Landscaping and Security

- 3.5.1 The site has a holistic Landscaping Strategy for the Proposal, with key aims to soften and screen the proposed new buildings, enhance the biodiversity of the site, and continue to develop the garden feel of the wider AELTC site.
- 3.5.2 Landscaping is proposed to improve the appearance of the Gate 20 compound and to provide additional screening and security. This includes the enhancement of planting along the north western boundary of the site between Gate 20 and the Oakfield Residences to fill in an existing gap in planting, as well as new planting along Somerset Road to screen views towards the site. Two permanent vertical planted walls are proposed within the compound to screen some of the temporary infrastructure which will be in place during The Championships.
- 3.5.3 Landscaping will also be provided adjacent to the new TSR building and Media Pavilion. The planting strategy seeks to soften the proposed buildings and integrate it with the existing landscape vista. A significant level of screening will be provided to the north and west of the TSR in order to soften the views from Somerset Road and Newstead Way, with new landmark and evergreen trees supplemented by climbers and additional significant screening planting.
- 3.5.4 Security is a high priority for the AELTC. Access to the Gate 20 compound will continue to be controlled by personnel at the relocated Gatehouse along Somerset Road, and the proposals incorporate new CCTV cameras

to the south and north of the internal access road as well as within the new compound. A 2m high fence with secure gates is proposed around the new compound which is to accommodate the storage of plants year round and broadcast vehicles during The Championships.

#### 4. **PLANNING HISTORY**

- 4.1 20/P0766 - Erection of temporary accreditation buildings with associated landscaping & car parking (5 year permission) – Pending decision.
- 4.2 20/P0835 - Application to discharge condition 4 (schedule) attached to variation of condition 18/P1811 (erection of temp marquees) – Pending decision
- 4.3 19/P0607 - Application to discharge condition 4 (phasing) attached to lbm planning permission 18/P1811 relating to the temporary erection of marquees (single & double storey in height (including balcony to rosewater pavilion marquee) and other temporary facilities for use in connection with the annual wimbledon championship (to be erected up to 10 weeks prior to, and dismantled within 5 weeks after the tournament) annually for a period of 5 years – Grant - 25/03/2019
- 4.4 19/P0473 - Application to discharge condition 7 (screen) attached to lbm planning permission 18/p1811 relating to the temporary erection of marquees (single & double storey in height (including balcony to rosewater pavilion marquee) and other temporary facilities for use in connection with the annual wimbledon championship (to be erected up to 10 weeks prior to, and dismantled within 5 weeks after the tournament) annually for a period of 5 years – Grant - 08/03/2019
- 4.5 19/P3360 - Retention of single storey hospitality structure (known as 'the lookout') on top of an existing single storey building for a temporary period of up to 5 years – Pending decision
- 4.6 19/P3501 - Application to discharge clause 5.3 (energy strategy) of a section 106 agreement relating to planning permission 16/P4651 (as amended by 19/P3731) (indoor/outdoor tennis courts) – pending decision
- 4.7 19/P0196 - Erection of an ancillary outbuilding for horticultural storage and maintenance – Grant - 26/04/2019.
- 4.8 18/P4236 - Application for temporary permission to erect 5 x air domes over existing clay courts between September and may for a period of 3 years – Grant - 26/03/2019
- 4.9 19/P3698 - Application to discharge condition 6 (noise) attached to LBM

- planning permission 18/p4236 for the temporary erection of 5 x air domes over existing clay courts between September and may for a period of 3 years – Grant - 11/12/2019
- 4.10 18/P3306 - Non-material amendments to LBM planning permission 16/P4651 (6 x indoor and 6 outdoor tennis courts and associated facilities) changes relate to rewording of conditions 31, 36, 38, 39, 42 and 48 to take into consideration early enabling works – Grant - 19/09/2018
  - 4.11 18/P3532 - Application to discharge condition 44 (piling calculations) attached to LBM planning application 16/P4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Pending decision
  - 4.12 18/P3033 - Application to partially discharge condition 15 (trees) attached to LBM planning permission 16/P4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Grant - 28/08/2018
  - 4.13 18/P2510 - Application to partially discharge condition 5 (boundary treatment) attached to LBM planning application 16/p4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Grant - 24/08/2018
  - 4.14 18/P2531 - Application to discharge condition 26 (bat boxes) attached to LBM planning application 16/p4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Grant - 22/08/2018
  - 4.15 18/P2534 - Application to discharge condition 27 (stag beetle) attached to LBM planning application 16/p4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Grant - 22/08/2018
  - 4.16 18/P2529 - Application to discharge condition 25 (bird nesting) attached to LBM planning application 16/p4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Grant - 22/08/2018
  - 4.17 18/P2715 - Application to partially discharge condition 28 (suds) attached to LBM planning application 16/p4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Grant - 20/08/2018
  - 4.18 18/P2545 - Application to discharge condition 46 (green roof) attached to LBM planning application 16/p4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Grant - 14/08/2018
  - 4.19 18/P2502 - Application to partially discharge condition 3 (materials) attached to LBM planning application 16/p4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Grant - 13/08/2018
  - 4.20 18/P2509 - Application to partially discharge condition 18 (landscaping)

- attached to LBM planning application 16/p4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Grant - 13/08/2018
- 4.21 18/P2709 - Application for partially discharge of condition 20 (vegetation clearance) attached to LBM planning permission 16/p4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Grant - 08/08/2018
- 4.22 18/P2667 - Non-material amendments to LBM planning permission 16/p4651 (6 indoor and 6 outdoor tennis courts and associated facilities). changes relate to internal alterations, omission/new/relocated doors, windows & stairs, relocated/new flues, amended lifts & lift over-run and changes to louvres & timber cladding – Grant - 25/07/2018
- 4.23 18/P2716 - Application to discharge condition 10 (WMS), 12 (CLP) and 43 (CMS) attached to LBM planning application 16/P4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – pending decision
- 4.24 18/P1897 - Application for discharge of condition 45 (movement monitoring report) attached to LBM planning permission 16/P4651 relating to the demolition of existing 5 x covered tennis courts and erection of a new building comprising of 6 x indoor courts and associated facilities, 6 x outdoor tennis courts, single storey basement for parking (up to 338 vehicle spaces and 60 cycle spaces), 9 external covered car parking spaces, relocation of chiller plant (which services centre court roof) and associated equipment, associated landscaping, hardstanding, access roads, boundary enclosures and amended access arrangements – Grant - 27/06/2018
- 4.25 18/P2501 - Application to partially discharge condition 4 (surface treatment) attached to LBM planning application 16/P4651 (6 indoor and 6 outdoor tennis courts and associated facilities) – Pending decision
- 4.26 16/P4651 - Demolition of existing 5 x covered tennis courts and erection of a new building comprising of 6 x indoor courts and associated facilities, 6 x outdoor tennis courts, single storey basement for parking (up to 338 vehicle spaces and 60 cycle spaces), 9 external covered car parking spaces, relocation of chiller plant (which services centre court roof) and associated equipment, associated landscaping, hardstanding, access roads, boundary enclosures and amended access arrangements – Grant subject to conditions and S106 agreement - 29/05/2018.
- 4.27 16/P2750 - Application for a certificate of lawfulness for existing use (implementation of planning approval 11/P2865) – Issue - 23/08/2016
- 4.28 14/P0632 - Replacement of existing portacabin and erection of 2 x portacabins on plantroom roof, including associated hard and soft

landscaping – Grant - 09/04/2014

- 4.29 11/P2865 - Erection of a new covered court facility over three levels containing six new indoor tennis courts to replace the existing building containing 5 indoor courts to be demolished, formation of new access to Somerset road, car parking facilities at ground floor / undercroft levels, replacement bar/lounge/changing facilities and new tree planting and landscaping – Grant by planning applications committee - 18/02/2014
- 4.30 11/P2864 - Pedestrian tunnel between car park 3 and the millennium building, erection of a new single storey front extension with canopy to the millennium building and associated works connecting the tunnel with the player entrance at ground level – Grant - 10/01/2012
- 4.31 11/P0300 - Removal of an existing timber outbuilding in car park 4 (gate 20) and hardstanding, and the construction of new stepped terrace concrete floor slab bases for temporary portacabin building during the annual championships together with the construction of a strengthened grass hardstanding for an articulated outside broadcasting vehicle and equipment , involving construction of a retaining wall within an existing embankment and an inclined strengthened grass area to the remainder of the embankment plus new security fence, gate and security cabin - Grant - 07/03/2011.
- 4.32 10/P2911 - Erection of a temporary pedestrian access area, vehicle access areas at the covered courts on Somerset Road/Marryat Road, operational compounds, technology cabins at court 3 facilities building and security fencing for the purposes of hosting the test event and the London 2012 Olympic games at the all England lawn tennis club - Grant - 14/01/2011
- 4.33 10/P2300 - alterations and extensions to east and west elevations of millennium building to refurbish and improve facilities including provision of new internal staircase, alterations and two storey extension on eastern side of building above part of competitors garden to form improved lounge and larger reception area, construction of a covered outdoor plant space to service the new extension and relocation of the press writing room into an extension along the western facade above competitors drop off point, involving removal and replacement of two trees – Grant - 21/10/2010
- 4.34 86/P1326 - Erection of a new three court covered tennis hall building with two level bar seating area/changing/ viewing area linked to existing 2 court building including layout of car parking areas with landscaping and planting around the building and along the Somerset Road frontage – Grant - 09/04/1987

## 5. CONSULTATION

5.1 The application has been advertised by major press notice procedure and letters of notification to the occupiers of neighbouring properties.

5.2 10 letters of objection and 3 letters of support/comment have been received.

5.2.1 The 10 letters of objection raise the following concerns:

### Highways

- Overbearing level of construction activity and nuisance.
- Increase in traffic
- Development will start before the present works on the indoor courts have finished. This accounts for 70 plus truck movements per day, together with similar number from the gate 20 works, that indicates approaching 150 heavy trucks per working day passing along Somerset Road.
- The proposals reduce the amount of car parking available on AELTC ground and provides no additional parking capacity either during construction or while the new facility is used each year. This will be a problem for those working in the new buildings and for surrounding residents.
- Gate 20 will cause significant additional problems during the Championships, with respect to blocking the access to the Oakfield Estate, especially when coaches are queuing to gain entry to Car park 4.
- The safety of residents is compromised by uncontrolled traffic both in transit and parking.

### Neighbour Amenity

- The Somerset Road project has managed to work on most Saturdays since works began.
- Request that construction is limited to Monday to Friday, so to bring a degree of relief from the noise, dust, pollution and general disturbance and loss of amenity for the least the weekend.
- Light pollution during construction.
- Increase pollution for vehicles, with trucks and car queuing to get into the area for some weeks before, during and after the Championships.
- Already experience major noise and disturbance on a daily basis from 7am Monday to Saturday due to the access and use of site as car parking.
- Moving the access road close to the Oakfield boundary will result in

increased noise and pollution, both with vehicles stopping at the new accreditation hut during the championship, and with vehicles entering in other months.

- Proposed media pavilion will spoil views from flats.
- No consideration of the expected increase in noise experienced by residents before and after the broadcast trucks arrive and depart and while they are in use has been made.
- Cannot be allowed without determining whether noise and pollution will be above current environmentally acceptable levels.
- What will be the likely increase in noise caused by bringing the air conditioning units of the broadcast trucks to within a few metres of Burghley House?
- What is the likely increase in noise caused by the relocating of the queue for the accreditation gate for the residents of Burghley House?
- What are the likely levels of pollution cause by the relocation of the accreditation hut and traffic jam from Somerset Road to a site so close to Burghley House?
- The backup generators must be relocated within a plant roof beneath the TSR building to reduce the noise pollution.
- Saturdays should exclude heavy equipment and noisy operations.
- No pollution report submitted with the applicant.

#### Design

- Like to see a higher standard of architecture on the AELTC site.

#### Other

- Confirmation that the area will be used to store only plants outside the championship period? Need assurance that the area will not be used to store building material for other projects.
- Many objections would disappear if gate 1 were to replace gate 20 as the accreditation gate. This should be made into a condition for the current work to proceed.

5.2.2 The letters of support/comment from the Wimbledon Society, Swift Conservation and Wimbledon Swift Group raise the following points:

#### Wimbledon Society

- The replacement of the temporary cabins at Gate 16 by the Technical Services Room (TSR) is a welcome improvement to the site. Softening of the visual appearance of the south-east corner of the TSR by extensive planting of creeper along the street facade



would continue the admirable long-standing tradition of 'green walls' that has been such an iconic feature of the whole site

- Photovoltaic cells are mentioned in the Environmental Design summary and 42 such panels are shown on the roof of the TSR. We would offer the suggestion that another line of 21 panels could be fitted on the roof following a slight reduction in the sedum planted areas. The PV panel array should be arranged in a manner that low winter sun reflection into adjoining properties is avoided.

### Swift Conservation and Wimbledon Swift Group

- The Middlemarch Preliminary Ecological Appraisal (ref. RT-MME-130858, dated June 2019) recommends: "Provision of nesting/roosting habitat, such as installation of nest boxes for species such as house sparrow" (paragraph 7.2, R2). Although house sparrow terraces will only be used by sparrows, nestboxes for swifts can also be used by sparrows and other small birds,
- To achieve a net gain for biodiversity in accordance with the NPPF 2019, integrated swifts bricks have the advantage of lasting the lifetime of the building, as well as being zero maintenance, and aesthetically integrated with the building design.
- Swifts bricks are specifically mentioned in the NPPG July 2019 guidance on the Natural Environment: "Relatively small features can often achieve important benefits for wildlife, such as incorporating 'swift bricks' and bat boxes in developments
- This development is close to areas where swifts (on the RSPB amber list due to rapidly declining numbers) are currently nesting, with swifts known to nest on nearby Dundonald Road SW19 (recorded on the RSPB swift survey database website).
- Therefore we request that swifts bricks are installed at high level. Retention or suitable replacement of habitat, bat boxes, and measures for protected/ notable species, as additionally recommended by the ecology report (sections 7.2 and 7.3), would also be welcome

### 5.3 Thames Water

#### Waste Comments

- 5.3.1 With regard to surface water drainage, Thames Water would advise that if the developer follows the sequential approach to the disposal of surface water we would have no objection. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. Should you require further information please refer to our website.

- 5.3.2 As you are redeveloping a site, there may be public sewers crossing or close to your development. If you discover a sewer, it's important that you minimize the risk of damage. We'll need to check that your development doesn't limit repair or maintenance activities, or inhibit the services we provide in any other way. The applicant is advised to read our guide working near or diverting our pipes.
- 5.3.3 We would expect the developer to demonstrate what measures will be undertaken to minimise groundwater discharges into the public sewer. Groundwater discharges typically result from construction site dewatering, deep excavations, basement infiltration, borehole installation, testing and site remediation. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. Should the Local Planning Authority be minded to approve the planning application, Thames Water would like the following informative attached to the planning permission: "A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer.
- 5.3.4 Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing [wwriskmanagement@thameswater.co.uk](mailto:wwriskmanagement@thameswater.co.uk). Application forms should be completed on line via [www.thameswater.co.uk](http://www.thameswater.co.uk). Please refer to the Wholesale; Business customers; Groundwater discharges section.
- 5.3.5 Thames Water would advise that with regard to waste water network and sewage treatment works infrastructure capacity, we would not have any objection to the above planning application, based on the information provided.

#### Water Comments

- 5.3.6 If you are planning on using mains water for construction purposes, it's important you let Thames Water know before you start using it, to avoid potential fines for improper usage. More information and how to apply can be found online at [thameswater.co.uk/buildingwater](http://thameswater.co.uk/buildingwater).
- 5.3.7 On the basis of information provided, Thames Water would advise that with regard to water network and water treatment infrastructure capacity, we would not have any objection to the above planning application.

5.3.8 Thames Water recommends the following informative be attached to this planning permission. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

#### 5.4 Councils Transport Planning Officer

##### Observations:

5.4.1 The application site is located in the western part of the main AELTC site adjacent to the Broadcast Centre and Court 18 (to the north of the Millennium Building).

5.4.2 The project consists of three distinct parts; the Media Pavilion and its associated landscape, the reconfiguration of Gate 20 and the Technical Services Room.

5.4.3 The modification of Gate 20 supports the needs of the Broadcasters and also seeks to reduce the risk of queueing on Somerset Road, enabling the quicker entry of pre-accredited vehicles.

##### Surrounding highway network

5.4.4 Somerset Road is within a controlled parking zone (VNS) which is operational Monday to Friday between 10:00 and 16:00. The northern section is privately owned and doesn't contain on-street parking restrictions.

5.4.5 Marryat Road connects to Somerset Road to the north and High Street Wimbledon to the south. Marryat Road is located within CPZ (VN) which is operational Monday to Saturday between 09:30 and 18:30.

5.4.6 Church Road is a local distributor road that connects the site to Wimbledon Village to the south and Wandsworth High Street to the north. Church Road is not located within a CPZ but in the vicinity of the site, Church Road contains single yellow line parking / waiting restrictions.

##### Development Proposals

5.4.7 The proposed improvement works include:

(a) Moving Gate 20 and gatehouse west along Somerset Road

(b) Reinstating the existing footway crossover as footway and extending the footway on the eastern side of Somerset Road to the relocated Gate 20.

(c) Altering the existing highway arrangement i.e. installing double yellow lines on the eastern side of Somerset Road

#### Gate 20

- 5.4.8 Gate 20 is accessed directly from Somerset Road and access to a back of house compound area utilised by the AELTC as well as an area of car parking to the north.
- 5.4.9 Outside of The Championships, the existing Gate 20 compound is used for the haphazard storage of miscellaneous items of machinery and Gate 20 is used as the primary access and egress for vehicles accessing Car Park 4. During The Championships, the Gate 20 area is used on an ad hoc basis for the parking of some broadcast/media vehicles, and Gate 20 is used as a primary access and egress point for staff and AELTC Members accessing Car Park 4.
- 5.4.10 There will be no net increase in vehicle movements as a result of the proposals (combined for Gate 20 and Gate 16), and a decrease in vehicle movements is expected for Gate 20 following the completion of the proposed works, the Somerset Road covered courts, (which includes 330 car parking spaces).

#### Draft Construction Logistics / Construction Traffic Management Plan

- 5.4.11 The draft Construction Traffic Management Plan (CTMP) and Construction Logistics Plan (CLP) provides an overview of the construction process, the type and size of vehicles expected to be used and their access arrangements.
- 5.4.12 The AELTC are seeking to minimise disruption to residents as much as possible by considering the timing and programme of the construction of the Somerset Road indoor courts project further to the south (on the opposite side of Somerset Road) and by utilising the use of Gate 1 (in Church Road) where possible.
- 5.4.13 Once the development has received approval, a contractor will be appointed, at which point details about construction methods and deliveries will be reviewed.
- 5.4.14 There is no indication of the number or the type of vehicles that would be generated by the proposed development until a contractor is appointed.

The appointed contractor will submit details of number of vehicles, type of vehicles and turning movements.

- 5.4.15 The construction of the two sites should be coordinated to mitigate the impact of Heavy Goods Vehicle movement.
- 5.4.16 During Championship fortnight no construction of the two sites would be permitted and everything will be heavily managed by the Police and tournament officials.
- 5.4.17 The submitted Travel Plan provides Targets with measurable goals by which progress will be assessed.
- 5.4.18 The aim targets of the Travel Plan are focused predominately on the employees based in the buildings outside of The Championships. The targets are set to measure progress towards the main objectives over five years. These targets are to be achieved within five years of the launch of the Travel Plan.
- 5.4.19 The AELTC provide a free staff mini bus at the end of the day to shuttle staff to Wimbledon Station.

#### Swept Path Analysis

- 5.4.20 The applicant has provided swept path analysis illustrating a 16.5m articulated vehicle and a 12m rigid vehicle can enter and exit the site through the relocated gate in a satisfactory manner provided parking on the opposite side of the carriageway adjacent to the proposed access is kept free.

#### Recommendation:

- 5.4.21 The proposed works are unlikely to have a significant impact on the adjoining highway network as there will be no net increase in vehicle movements as a result of the proposals.

#### Raise no objection subject to:

- 1) Demolition/Construction Logistic Plan (including a Construction Management plan in accordance with TfL guidance) should be submitted to LPA for approval before commencement of work.
- 2) A financial contribution for altering the existing traffic order i.e. installing double yellow lines on the eastern side of Somerset Road is considered minor works and can be secured through an appropriate condition. (costs £5k)

#### Informative:

Highways must be contacted regarding new crossing proposed and re-instatement of the existing. All works on the public highway are to be carried out by L B Merton and to Merton's specification.

Highways must be contacted prior to any works commencing on site to agree relevant licences, and access arrangements – no vehicles are allowed to cross the public highway without agreement from the highways section.

The applicant should contact David Furby of Council's Highway Team on: 0208 545 3829 prior to any work starting to arrange for this works to be done.

5.6 Councils Climate Officer

Details to be provided for the modification sheet.

5.7 Councils Environmental Health Officer

5.7.1 Due to potential impact on the surrounding locality from the development the recommendations to protect noise impact on the surrounding noise sensitive properties as specified in the Vanguardia, Media Development Planning Noise Assessment Report dated 13th December 2019, Document VC-103135-RP0001 shall be implemented and maintained as a minimum standard.

5.8 Councils Flood Officer

5.8.1 No objections to this development and recommend a drainage condition where the proposed works would take place as described within the planning application, where the proposed discharged rate is 47.5l/s.

6. **POLICY CONTEXT**

6.1 The relevant policies within Merton's Sites and Policies Plan (2014) are:

DM R5 Food and drink / leisure and entertainment uses  
DM R6 Culture, arts and tourism development  
DM C1 Community facilities  
DM E4 Local employment opportunities  
DM O1 Open space  
DM O2 Nature conservation, trees, hedges and landscape features  
DM D1 Urban design and the public realm  
DM D2 Design considerations in all development  
DM EP2 Reducing and mitigating noise

- DM EP3 Allowable solutions
- DM EP4 Pollutants
- DM F1 Support for flood risk management
- DM F2 Sustainable urban drainage systems (SUDS) and; wastewater and water infrastructure
- DM T1 Support for sustainable transport and active travel
- DM T2 Transport impact of development
- DM T3 Car parking and servicing standards
- DM T5 Access to the Road Network

6.2 The relevant policies within the Merton Core Planning Strategy (July 2011) are:

- CS 11 Infrastructure,
- CS 12 Economic Development
- CS 13 Open Space, Nature Conservation, Leisure and Culture
- CS 14 Design,
- CS 15 Climate change,
- CS 16 Flood Risk Management
- CS 18 Active transport
- CS 19 Transport
- CS 20 Parking, Servicing & Delivery

6.3 The relevant policies within the London Plan (July 2016) are:

- 2.18 Green Infrastructure: The Network of Open and Green Spaces
- 3.19 Sports Facilities
- 4.6 Support for and enhancement of arts, culture, sport and entertainment
- 5.1 Climate change mitigation
- 5.3 Sustainable Design and Construction
- 5.7 Renewable energy
- 5.12 Flood Risk Management
- 5.13 Sustainable drainage
- 6.3 Assessing Effects of development on Transport Capacity
- 6.8 Coaches
- 6.9 Cycling
- 6.10 Walking
- 6.13 Parking
- 7.3 Designing out crime
- 7.4 Local character
- 7.5 Public realm
- 7.6 Architecture
- 7.8 Heritage assets and archaeology
- 7.13 Safety, security and resilience to emergency
- 7.15 Reducing and managing noise, improving and enhancing the acoustic environment and promoting appropriate soundscapes

- 7.18 Protecting open space and addressing deficiency
- 7.19 Biodiversity and access to nature
- 7.21 Trees and Woodlands
- 8.2 Planning obligations
- 8.3 Community infrastructure levy

#### 6.4 Other

- National Planning Policy Framework 2019
- National Planning Practice Guidance 2014
- Planning and Compulsory Purchase Act – 2004
- Draft London Plan 2020
- Draft Local Plan 2020

### 7. **PLANNING CONSIDERATIONS**

7.1.1 The principal planning considerations in this case are: the principle of development, visual impact/design, impact on neighbouring amenity, highways, open space and MOL, green corridor, landscaping, ecology, climate change and flood and drainage.

#### 7.2 **Principle of Development**

7.2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that when determining a planning application, regard is to be had to the development plan, and the determination shall be made in accordance with the development plan, unless material considerations indicate otherwise.

7.2.2 Planning Policy 4.6 (Support for and enhancement of arts, culture, sport and entertainment) of the London Plan 2016 states that the Mayor will and boroughs and other stakeholders should support the continued success of London's diverse range of arts, cultural, professional sporting and entertainment enterprises and the cultural, social and economic benefits that they offer to its residents, workers and visitors.

7.2.3 Planning Policy DM R6 (Culture, arts and tourism development) of Merton's Sites and Policies Plan aims to protect and provide additional arts, culture and tourism uses in the borough. These uses will also create economic and social benefits for the borough by attracting tourist and business visitors to Merton. The policy encourages improvements or expansions to existing cultural, arts and tourism in Merton.

7.2.4 Merton's Draft Local Plan 2020 identifies the AELTC main site with a new site allocation (Site Wi3) which recognises the site as a world class sporting venue of national and international significance and supports the



continued upgrade and improvement of the AELTC's facilities within the borough.

- 7.2.5 The proposal seeks to improve the facilities and function of a nationally important sporting event both during and outside the Wimbledon fortnight Championship. The proposed works form part of the AELTC wider aspirations for the site (see below) which will help the AELTC maintain its position as the finest stage in world tennis. The principle of the development is considered to be in line with the wider Wimbledon Master Plan and would help maintain economic and social benefits the Wimbledon Championships brings to Merton and London. The proposals are welcomed and supported in principle.

#### Wimbledon Master Plan

- 7.2.6 In order to maintain Wimbledon's leadership position as the finest stage in world tennis, it is acknowledged that the AELTC needs to work hard to further improve the facilities and that standing still is not an option. In 2011, The Club commissioned Grimshaw to develop a Master Plan to guide the further long term development of The Club and its facilities. The 'Wimbledon Master Plan' sets out the vision for the future of the grounds and is a framework against which new development will be assessed and refined. Whilst the Wimbledon Master Plan is not an adopted plan of the Council, it sets out the club's direction of development over a 20-year period.
- 7.2.7 The proposal is a critical part of the Master Plan in allowing for the enhancement and upgrade of broadcast facilities to improve the experience of media attendees and to compete with other tournaments, as well as improve the appearance of what is currently treated as a 'back of house' area. Critically, the proposals will allow the existing interview facilities to be relocated to a new location outside of the Millennium Building, enabling the existing Somerset Road tunnel to connect the site to the new Somerset Road covered courts (which are currently under construction). The proposed media centre would form part of the wider project of implementing the Wimbledon Master Plan and is therefore supported in principle.

### **7.3 Media Pavilion, Technical Service Rooms & Gate 20**

#### 7.4 Design

- 7.4.1 The National Planning Policy Framework sets out that achieving high quality places and buildings is fundamental to the planning and development process. It also leads to improvements in the quality of existing environments. It states that planning should always seek to

secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

- 7.4.2 Planning policy DM D2 (Design considerations in all development) of Merton's Site and Polices Plan 2014 requires all development to relate positively and appropriately to the siting, rhythm, scale, density, proportions, heights, materials and massing of surrounding buildings and existing street patterns, historic context, urban layout and landscape features of the surrounding area.

#### Media Pavilion

- 7.4.3 The proposed Media Pavilion is located on top of an existing building and on the land currently used as a broadcast yard to the rear. The existing context is used for back of house facilities which has a cluttered and unattractive appearance with hardstanding, vehicle parking and temporary structures. The proposed building is considered to be a well designed building that is a vast improvement on the current situation, respecting the Somerset Road street scene and massing and design of adjacent buildings. The proposed design is therefore considered to be a positive move forward given the existing site conditions in this part of the AELTC site. The media building would be sited at an oblique angle to Somerset Road and thereby reducing its visual impact. The building would have a two storey appearance with use of exposed brick, cladding and a green aluminium roof which reflects the Wimbledon Tennis colour. The overall design and scale of the building is considered to be suitable for this location on the site.

#### Technical Service Rooms (TSR)

- 7.4.5 The TSR building is a single storey, flat roof, modest sized building designed to reflect its use as technical and IT services for the Championship. The simple design approach would ensure that the building does not compete architecturally with the adjacent media building. The buildings cladding is proposed to be Wimbledon green polyester powder coated aluminium panels. Climbing plants will be positioned along the western facade facing Somerset Road. The proposed building finish in green and quality of soft landscaping all respond to the AELTC pattern of development. This will also help the building blend into its setting and respond satisfactorily to the Somerset Road street scene and sporting context of the site.

#### Gate 20

- 7.4.6 The design changes relating to Gate 20 are modest in terms of built form and the design approach. There would only be three buildings in this

location, these are two small huts and an accreditation hut. These buildings are modest in size and have been designed to be reflective of their use. These modest buildings would still ensure that the open nature of this part of the site is respected.

- 7.4.7 The relocation of Gate 20 and reconfiguration of the boundary treatment would still be in keeping with the existing arrangement (railings).
- 7.4.8 During the Championships, the Gate 20 area will be used to park broadcast vehicles, however this would only be for a few months of the year when the site is leading up and in full operation mode. Therefore, given the condition of the AELTC at this time (extensively used), it is not considered that there would be visual harm to the site or its surroundings. Outside these months the compound would be used as the nursery for the AELTC's stock of plants and trees. The new compound will house this collection, allowing organised, tidy, and efficient storage of plants and trees for majority of the year. This will provide a more visually appealing arrangement on the site and more pleasant outlook for the neighbours in Burghley House.

## 7.5 **Impact on neighbouring amenity**

- 7.5.1 London Plan policies 7.6 and 7.7, CS policy 14, and SPP policy DM D2 seek to ensure new developments do not unacceptably impact on the amenities of the occupiers of any adjoining and nearby surrounding properties. Planning policy DM D2 (Design considerations in all developments) states that amongst other planning considerations that proposals will be expected to ensure provision of appropriate levels of sunlight and daylight, quality of living conditions, amenity space and privacy, to both proposed and adjoining buildings and gardens.

### Media Pavilion

- 7.5.2 The proposed Media Pavilion would be partly located behind the proposed TSR building and the new landscaping area adjacent to Somerset Road. Therefore the proposed media building would not be clearly visible from neighbouring properties in Somerset Road and Newstead Way. Given the good level of separation from neighbouring properties in Somerset Road, Newstead Way and Burghley House (at least approximately 40m from the closest residential property) combined with the building being predominantly screened by the TRS building and new landscaping proposals, it is considered that there would be no undue loss of amenity in terms of light, overlooking or visual intrusion.
- 7.5.3 The building would make use of the roof terrace area. However, the terrace areas have been designed to be pushed away from the edge of

the building and are designed to direct views back across the ATLTC site and beyond, rather than towards neighbouring residential properties in Somerset Road, Newstead Way and Burghley House. In any event, the level of separation from neighbouring properties would ensure that there would be no undue loss of privacy or overlooking.

- 7.5.4 The applicants independent noise report submitted by Vanguardia states that the relocation of the two existing back-up power supply units from the broadcast service yard to within the existing plant room (beneath the proposed TSR) is identified as having a positive impact with a reduction on existing noise levels expected for residents in Somerset Road and Burghley House

#### Technical Service Rooms

- 7.5.5 The proposed TSR building is a modest sized building that is separated from the neighbouring properties in Somerset Road and Newstead by a public highway. The TSR is approximately 23m from the closest residential property which is on the opposite side of Somerset Road. The new landscaped area is also proposed in front of the building adjacent to Somerset Road which will help partly screen the proposed TSR building from neighbouring properties. Whilst the proposed TSR would be located on elevated land above Somerset Road, no windows are proposed on the western elevation and the level of separation from neighbouring properties would ensure that there is no undue loss of amenity.

#### Gate 20

- 7.5.6 A number of objections from neighbouring residential properties have raised concerns with the relocation of Gate 20 and the access road towards the northwest boundary of the site, closer to Oakfield Estate (most notability Burghley House).
- 7.5.7 The objections from neighbours have been taken into account, however it must be noted that there already exists an existing access road from Gate 20 to car park 4 within the northern section of the AELTC site. At present, Gate 20 and the associated land is uncontrolled. Therefore the existing space could be used to park vehicles and storage of equipment as the AELTC see fit. The proposal would only result in the established access being pushed a few metres further to the north.
- 7.5.8 The applicant has identified that the current arrangement of Gate 20 creates traffic build up along Somerset Road. This would be problematic during busy times, which is not ideal from a highway safety perspective and disruption to neighbours during the Championships. The proposal seeks to provide a new accreditation and security setup deeper into the

site in order to get vehicles onsite and alleviate the queuing of vehicles on Somerset Road.

### Visual

- 7.5.9 The proposed new access road would be situated closer to the northwest boundary, however a soft landscaped strip would be retained and new soft landscaping is proposed. At present, the northwest boundary adjacent to Burghley House is currently sparsely planted and currently provides little screening of the compound. High quality landscaping is included throughout the application site. This is included along the northwest boundary where existing landscaping will be enhanced and new tree planting of various sizes are proposed to fill in the existing gap in vegetation with diverse canopy heights ranging from 3m to 8m in height. The substantial landscaping along this boundary will assist in screening the proposals from nearby Burghley House.
- 7.5.10 It should also be noted that Burghley House itself is set away from the site boundary, therefore offering some breathing space. It is only for the fact that Burghley House is a high-rise building that views are created over the AELTC site. For the vast majority of the year, Gate 20 compound would retain its open character and would better organise the space with the storage of plants outside the Championship period.
- 7.5.11 Broadcast vehicles would occupy the space just before and shortly after the Championship period. Therefore, larger vehicles would not be parked on the land for a long period of time that might cause harm to the visual amenities of the site and its surrounding.
- 7.5.12 The new accreditation and security deeper into the site seeks to move vehicles off Somerset Road, which would have both highway safety and visual benefits for neighbouring properties in Somerset Road and Newstead Way.

### Noise & Pollution

- 7.5.13 Concerns have been raised by neighbours, particularly in Burghley House, regarding the relocation of the access road closer to residential properties. The access road and vehicles waiting on site would be used more frequent in the build-up, during and after the annual Championships. This is to be expected given the use of the site as a National and International Sporting Event. The use of planning conditions can help reduce impact on neighbouring amenity and the highway.
- 7.5.14 It is acknowledged that there would be a some disturbance during the Championship period given the scale of the event. It is however not expected that the proposal would have a significant impact on highway

network and surroundings. The application site is modest in size and could only accommodate a limited number of vehicles at any one time. The AELTC themselves would want direct vehicles to their destination as efficiently and quickly as possible, therefore it is not expected that vehicles would wait along the access road in the Gate 20 compound area for a considerable amount of time that may result in adverse harm to neighbouring amenity. As set out above, there would still remain a reasonable level of separation between the new access road and adjoining neighbouring properties, and existing and new landscaping would offer some remedy to reduce any noise and pollution.

7.5.15 It should also be noted that outside the busy periods, the vast amount of time in the year the space would only be used for the storage of plants. It is also expected that following the completion of other projects on the AELTC site (Gate 1 and Covered Courts), the access road would be used less frequently as secured car parking would be provided in the basement of the covered courts facility currently under construction.

7.5.16 The applicant has submitted an independent Noise Assessment by Vanguardia. The report summarises the expected noise impact of the proposals including the repositioning of Gate 20, relocation of broadcast trucks parking (during The Championships period), and the new TSR and Media Pavilion buildings which are all identified as having negligible noise impact.

7.5.17 The Noise Report demonstrates that the majority of the proposed elements of the scheme will have a negligible noise impact (for short and long term) on the closest residential properties. A minor adverse impact (short term only) is was identified in the report for the lower floors of Burghley House however this is based on a worst case scenario with vehicle movements as per the current use of Gate 20. In reality the vehicle numbers are expected to significantly reduce following the completion of Gate 1D in Church Road and the Somerset Road covered courts project.

7.5.18 The Councils Environmental Health Officer has raised no objection to the application subject to a condition requiring the development being carried out in accordance with Noise Assessment by Vanguardia and implemented and maintained as a minimum standard.

## 7.6 **Highways**

7.6.1 Planning Policy 6.1 of the London Plan (2016) states that the Mayor will support developments, which generate high levels of trips at locations with high levels of public transport accessibility and which improves the capacity and accessibility of public transport, walking and cycling.

7.6.2 At a local level Policy CS.19 of the Core Planning Strategy states that the Council will ensure that all major development demonstrates the public transport impact through transport assessments. Travel plans will also be required to accompany all major developments.

7.6.3 London Plan policies 6.3 and 6.12, CS policies CS20 and CS18 and SPP policy DM T2 seek to reduce congestion of road networks, reduce conflict between walking and cycling, and other modes of transport, to increase safety and to not adversely effect on street parking or traffic management

#### Travel Plan

7.6.4 The applicant has submitted a Travel Plan with the application which has been designed to enable employees and visitors to the Media Pavilion and Technical Services Room, outside of The Championships, to make informed decisions about their travel to the site. The document links to other Travel Plans in operation across the estate and in combination the Travel Plan's aim will be to minimise vehicle movements to and from the site. This is achieved by setting out a strategy for eliminating barriers which keep employees and visitors from making use of sustainable and in particular active modes

7.6.5 The Travel Plan's overriding objective is to engage with and encourage employees and visitors to use more sustainable ways of travelling to / from the site through more effective promotion of active modes. This will minimise the impact of the site on the surrounding highway and public transport network.

7.6.6 The key action targets are set out below:

- A Travel Plan Coordinator will be appointed at least one month prior to the buildings becoming operational.
- To launch this travel plan when the building opens.
- Each monitoring survey will occur within one month of the anniversary of the baseline survey in each survey year (i.e. Years 1, 3 and 5).

7.6.7 The aim targets of the Travel Plan are focused predominately on the employees based in the buildings outside of The Championships. The targets are set to measure progress towards the main objectives over five years. These targets are to be achieved within five years of the launch of the Travel Plan. A planning condition can be attached to any permission to ensure that the travel plan is implemented so that sustainable modes of travel of given the best chance of success.

#### Construction Logistics and Traffic Management Plans

7.6.7 The application has submitted a draft Construction Traffic Management Plan (CTMP) and Construction Logistics Plan (CLP) provides an overview of the construction process, the type and size of vehicles expected to be used and their access arrangements. Once the development has received approval, the AELTC have stated that a contractor will be appointed, at which point details about construction methods and deliveries will be reviewed. A planning condition requiring details to be submitted and approved can be conditioned to ensure that impact on highways and neighbouring amenity is kept to a minimum based on the condition of the context at that time (co-ordination with other works on the AELTC site).

#### Cycle Parking

7.6.8 The proposed buildings are not expected to be used solely to accommodate a high number of staff all year round, but used when required during the Championship or one off events throughout the year. It is expected that these building will be used as ancillary spaces by existing staff already operating from other buildings. The AELTC site already has a good provision of cycle parking, which will include 60 new spaces with the covered courts building when completed. In addition, cycle parking is available on the main site under the Museum Building and Centre Court. As part of the Travel Plan, the cycle parking across the site will be actively monitored and if demand warrants (i.e. if over 90% of the stands are full at any time) additional cycle parking stands will be continuously provided.

#### Vehicle Parking

7.6.10 Outside of The Championships, the use of Gate 20 will be monitored and managed by the AELTC alongside the increased use of Gate 1 (in Church Road) as a primary accreditation and entry point for the site, with Gate 20 to be used primarily for exiting the site. The use of Car Park 4 is also expected to be used less following the completion of the Somerset Road covered courts project (which includes 330 car parking spaces).

7.6.11 Overall, a reduction of vehicular use is expected for Gate 20 following the completion of the proposed works and the Somerset Road development, with the compound being used for the storage of plants throughout the year.

7.6.12 During the Championships, the broadcast vehicles that currently use the broadcast service yard will be relocated to the reconfigured Gate 20 compound. The broadcast vehicles will arrive on site up to 4 weeks prior to The Championships and leave 1 week after (usually the day after due to the media moving on to other sporting events). The amount of broadcast vehicles will not be increased above the existing numbers, but simply



relocated to the Gate 20 area. Therefore there would be no additional impact upon the highway network. Staff and Members will continue to use Gate 20 to access Car Park 4 during The Championships (as per the current scenario).

- 7.6.14 Proposals for a new accreditation facility at Gate 1 on Church Road are currently being prepared by the AELTC. Once complete, the AELTC state that Gate 1 proposals will enable accreditation to occur in Church Road both outside and during The Championships which will reduce the queuing of vehicles on Somerset Road (which currently occurs whilst vehicles wait for accreditation at Gate 20). A small lay-by area is proposed outside Gate 20 (within the site boundary) which will enable vehicles that try to access Gate 20 without first being accredited to turn around rather than reversing on to Somerset Road. The temporary layby spaces will also be used for random security checks which staff undertake on the occasional vehicle.
- 7.6.15 During the Championships only there are a small number of car parking spaces adjacent to the Accreditation Hut which will be made available as VIP spaces for media and can also be used for as lay-by spaces if necessary.
- 7.6.16 In conclusion, There will be no net increase in vehicle movements as a result of the proposals (combined for Gate 20 and Gate 16), and a decrease in vehicle movements is expected for Gate 20 following the completion of the proposed works, the Somerset Road covered courts, and the Gate 1 proposals (subject to a separate application). The Council's Transport Planner has raised no objection to the proposals from a highway safety and parking perspective, subject to conditions and appropriate financial contribution towards double yellow line installations on Somerset Road.

## **7.7 Open Space & Metropolitan Open land**

- 7.7.1 The applicant site is identified as open space and part of the site (excluding the Media Pavilion and the broadcast service yard access road) sit within MOL within the Sites and Policies Plan (2014). Planning policy DM O1 (Open space) of Merton's Sites and Policies Plan (2014) seeks to protect and enhance open space and to improve access to open space. The justification text for policy DM O1 (open space) states that proposals to redevelop buildings in open space should be of high quality design, and of a scale, height and massing that is appropriate to their setting.
- 7.7.2 The proposals seek to improve the appearance of these back of house areas and create a more efficient use of spaces that are currently used for the haphazard storage of items and servicing. The year round storage of

plants and trees in the Gate 20 compound and the enhanced landscaping proposals along the site boundaries will significantly improve the appearance of the area.

- 7.7.3 The works to the Gate 20 compound do not propose any significant structures apart from 3 small huts. The TSR building will provide a permanent replacement for the five existing temporary Globecast Cabins which sit on top of an existing plant room. The proposed buildings and structures are predominantly located on areas of existing hardstanding and would serve the wider sporting facility, and are therefore considered to be in accordance with Paragraph 145 of the NPPF in that they will not have an adverse impact on the MOL designation. The proposed Media Pavilion is not within the MOL boundary, but in any event this would be located above an existing building and on a service yard area. The proposal would create positive design changes on this part of the site which would benefit the MOL surrounding.
- 7.7.4 It is considered that the proposal will not harm the character, appearance or function of the existing open space. The accreditation and security huts and TSR buildings are of simple in design which is reflected by their use and the media building is considered to be high quality design, all of which are of a scale, height and massing that is appropriate to their setting. Overall, the proposed development will result in essential improvements to this critical back of house area and will introduce state of the art media facilities to contribute towards ensuring that The Championships status as the premier tennis tournament in the world is retained, and that Wimbledon remains a first class sporting facility both nationally and internationally.
- 7.7.5 Both current and emerging policy supports proposals for new and improved facilities within open space designations, and the proposals will not have an adverse impact on the MOL designation. The proposal is therefore considered to be compliant with Policies 7.17 and 7.18 of the London Plan, and local policies CS13 and DM O1 in that there is no resultant loss of designated Open Space or MOL but rather a replacement and improvement on what already exists.

## 7.7 **Green Corridor**

- 7.7.1 Planning Policy DMO2 (Nature Conservation, Trees, hedges and landscape features) of Merton's Sites and Policies Plan states that the council recognises the importance of maintaining and enhancing a network of green corridors which are relatively continuous areas of green space leading through the built environment, and which link large green spaces or to each other. They can assist the movement of some plant and

animal species through the borough, allow some animals to undertake movements between different habitats that they require for survival, maintain the presence of some animals and plants in places where they would not otherwise be found, and help to ensure the maintenance of the current range and diversity of flora and fauna, and the survival of important species.

7.7.2 The application site includes a green corridor along the northwest and western boundary of the application site and continues via the existing Globecast Cabins, adjacent to court number 18 and beyond into the main AELTC site. The application site would include a comprehensive soft landscaping strategy, including new landscaping along northwest and western boundaries which would enhance the green corridor. Whilst part of the proposal would impact on the green corridor within the application site, this part of the green corridor comprises land which already has been developed. The proposals would create a net increase in soft landscaping and is not considered to harm the green corridor given the existing site situation.

## 7.8 **Landscaping**

7.8.1 Planning Policy DMO2 (Nature Conservation, Trees, hedges and landscape features) of Merton's Sites and Policies Plan seeks to protect and enhance biodiversity, particularly on sites of recognised nature conservation interest. To protect trees, hedges and other landscape features of amenity value and to secure suitable replacements in instances where their loss is justified

7.8.3 Landscaping is proposed to improve the appearance of the Gate 20 compound and to provide additional screening and security. This includes the enhancement of planting along the northwest boundary of the site between Gate 20 and the Oakfield Residences to fill in an existing gap in planting, as well as new planting along Somerset Road to screen views towards the site. Two permanent vertical planted walls are proposed within the compound to screen some of the temporary infrastructure which will be in place during The Championships.

7.8.4 Landscaping will also be provided adjacent to the new TSR building and Media Pavilion. The planting strategy seeks to soften the proposed buildings and integrate it with the existing landscape vista. A significant level of screening will be provided to the north and west of the TSR in order to soften the views from Somerset Road and Newstead Way, with new landmark and evergreen trees supplemented by climbers and additional significant screening planting.

7.8.2 The proposal include an extensive landscaping strategy of high quality that

will has multiple functions including help screen buildings from neighbouring properties, enhance visitor experience and complement the design and settings of buildings and spaces. The proposal as a whole has been developed incorporating recommendations as set out in the Gate 20 Project Preliminary Ecological Appraisal carried out by Middlemarch Environmental in June 2019. Overall, the landscape proposals are considered to be high quality and welcomed.

## 7.9 **Ecology**

7.9.1 Planning policy DM D2 (Design considerations in all developments) of Merton's Sites and Policies Plan (2014) states that all proposals will be expected to Conserve and enhance the natural environment, particularly in relation to biodiversity and wildlife habitats and gardens.

7.9.2 The applicant has submitted a Preliminary Ecological Appraisal which sets out a comprehensive set of recommendations relating to Habitats (Habitat Retention and Protection & Biodiversity Enhancement), Protected / notable species (Roosting Bats, Foxes Nesting Birds, Terrestrial Mammals including Badger and Hedgehog, Lighting, Stag Beetle) and Invasive plant species (Invasive Plant Species).

7.9.3 The proposed enhancements include:

- Native and fruit bearing species introductions to support foraging mammals and birds
- Nectar rich species to attract bees, butterflies and moths
- species to attract night flying insects which are of value to foraging bats
- provision of nest boxes for house sparrow and bat boxes for pipistrelle species

7.9.4 Guidance is also given with regard to relocation of habitat elements including deadwood piles, for treatment and handling of species such as Cotoneaster and Rhododendrons, and recommendations are made for consideration on lighting proposals in the vicinity.

7.9.5 The Council welcomes the recommendations in the Preliminary Ecological Appraisal as this would conserve the natural environment. A planning condition requiring evidence that recommendations set out in the Preliminary Ecological Appraisal have been implemented can be secured via planning condition. In addition to the recommendations in the Preliminary Ecological Appraisal the applicant has agreed to install swift bricks for the media building which is welcomed.

## 7.10 **Climate Change**

7.8.1 Planning policy CS15 (climate Change) of Merton's adopted Core Planning Strategy (2011) seeks to tackle climate change, reduce pollution, develop low carbon economy, consume fewer resources and use them more effectively.

7.10.2 Planning Policy 5.2 of the London Plan (2016) states that development proposals should make the fullest contribution to minimising carbon dioxide emissions in accordance with the following energy hierarchy:

1. Be lean: use less energy
2. Be clean: supply energy efficiently
3. Be Green: use renewable energy

7.10.3 The applicant has submitted an updated energy statement and Energy Masterplan for AELTC site. The Councils Climate Change Officer is still in discussion with the AELTC. The final technical details will be agreed and presented within the modification sheet for member's consideration.

#### 7.11 **Flooding and Drainage**

7.9.1 The NPPF and London Plan policies 5.12, 5.13, Merton's policy CS 16 and SPP policies DMF1, DM F2 and DMD2 all seek to ensure that adequate flood risk reduction measures, mitigation, and emergency planning are in place to ensure there is no increase in flood risk offsite or to the proposed development.

7.9.2 The application site is located within flood zone 1, which is considered to be at low risk of flooding from pluvial sources, groundwater, artificial sources, and sewer surcharge. Development is therefore acceptable in principle, with regards to flood risk.

7.9.3 The applicant has provided an independent Flood Risk Assessment & Drainage Strategy by Thornton Thomasetti. The report stated that in the preparation of this FRA, all sources of flooding were considered which may affect the development proposals and the surrounding areas, in accordance with the requirements of the current flood risk legislation and policy of the NPPF.

7.9.4 The report concludes that a storm drainage strategy has been developed that aims to provide a significant reduction over the existing site run-off rate whilst also dealing with the constraints of a densely developed site. The strategy will provide a minimum 30% reduction over the existing site discharge rate with the additional benefit of an increase in the area of green roof. The result will be a measurable reduction in flood risk to land and property downstream of the development. The foul drainage system

will continue to drain to the public foul sewer in Somerset Road with a small increase in foul flows from the site considered to have a negligible impact on existing sewer capacity locally. Calculations are provided to demonstrate the required capacity of the stormwater attenuation. 40% climate change allowances have been included. The Councils Flood Officer has reviewed the FRA and has confirmed no objection subject to condition.

## 8. Local Financial Considerations

- 8.1 The proposed development is liable to pay the Merton and Mayoral Community Infrastructure Levy (CIL), the funds for which will be applied by the Mayor towards the Crossrail project. Merton's Community Infrastructure Levy was implemented on 1<sup>st</sup> April 2014. This will enable the Council to raise, and pool, contributions from developers to help pay for things such as transport, decentralised energy, healthcare, schools, leisure and public open spaces - local infrastructure that is necessary to support new development. Merton's CIL has replaced Section 106 agreements as the principal means by which pooled developer contributions towards providing the necessary infrastructure should be collected.

## 9. **SUSTAINABILITY AND ENVIRONMENTAL IMPACT ASSESSMENT REQUIREMENTS**

- 9.1 The application does not constitute Schedule 1 or Schedule 2 development. Accordingly, there are no requirements in terms on EIA submission.

## 10. **CONCLUSION**

- 10.1 In conclusion, it is considered that the principle of development is acceptable with the new proposals contributing towards the continued success of the AELTC. The design, size and height of the proposed buildings are considered to be a vast improvement compared to the existing situation, satisfactorily relating to the context of the site (open space and existing built form). The proposal will provide a comprehensive landscaping strategy which will help improve the visual amenities of the site, preserve its open and leafy character and help screen the proposed buildings/site from neighbouring properties and the street scene. The residential amenities of adjoining residential properties will be preserved to a satisfactory level given the design, size and siting of the proposed buildings and the level of existing and proposed landscaping. The proposal has also demonstrated that the development would respect, with no undue adverse impact and would comply with relevant planning policies relating to highways, open space and MOL, green corridor,

ecology, climate change and flood and drainage. Accordingly, it is recommended that planning permission be granted subject to S.106 Agreement and conditions set out below.

## **RECOMMENDATION**

### GRANT PLANNING PERMISSION

Subject to the completion of a Section 106 Agreement covering the following heads of terms:-

1. Highway works (double yellow lines) £5,000 contribution.
2. The developer agreeing to meet the Councils costs of preparing, drafting and monitoring the Section 106 Obligations.

And the following conditions:

1. A.1 Commencement of Development
2. A7 Approved plans
3. B.3 Materials as Specified
4. Other than the terrace areas as shown on the approved plans, access to the flat roof of the development hereby permitted shall be for maintenance or emergency purposes only, and the flat roof shall not be used as a roof garden, terrace, patio or similar amenity area.
5. Any external lighting shall be positioned and angled to prevent any light spillage or glare beyond the site boundary
6. D.11 Construction Times
7. Landscaping (including details of green roofs and tree planting)
8. The hardstanding hereby permitted shall be made of porous materials, or provision made to direct surface water run-off to a permeable or porous area or surface within the application site before the development hereby permitted is first occupied or brought into use.
9. Construction Logistics Plan
10. Construction Working Method Statement

11. Evidence of implementation of Ecology recommendations, plus provision of swift bricks in Media Building.
12. Travel plan
13. Development to be carried out In accordance with Noise Assessment Report dated 13th December 2019, Document VC-103135-RP0001
14. Secure by Design

### Planning Informatives

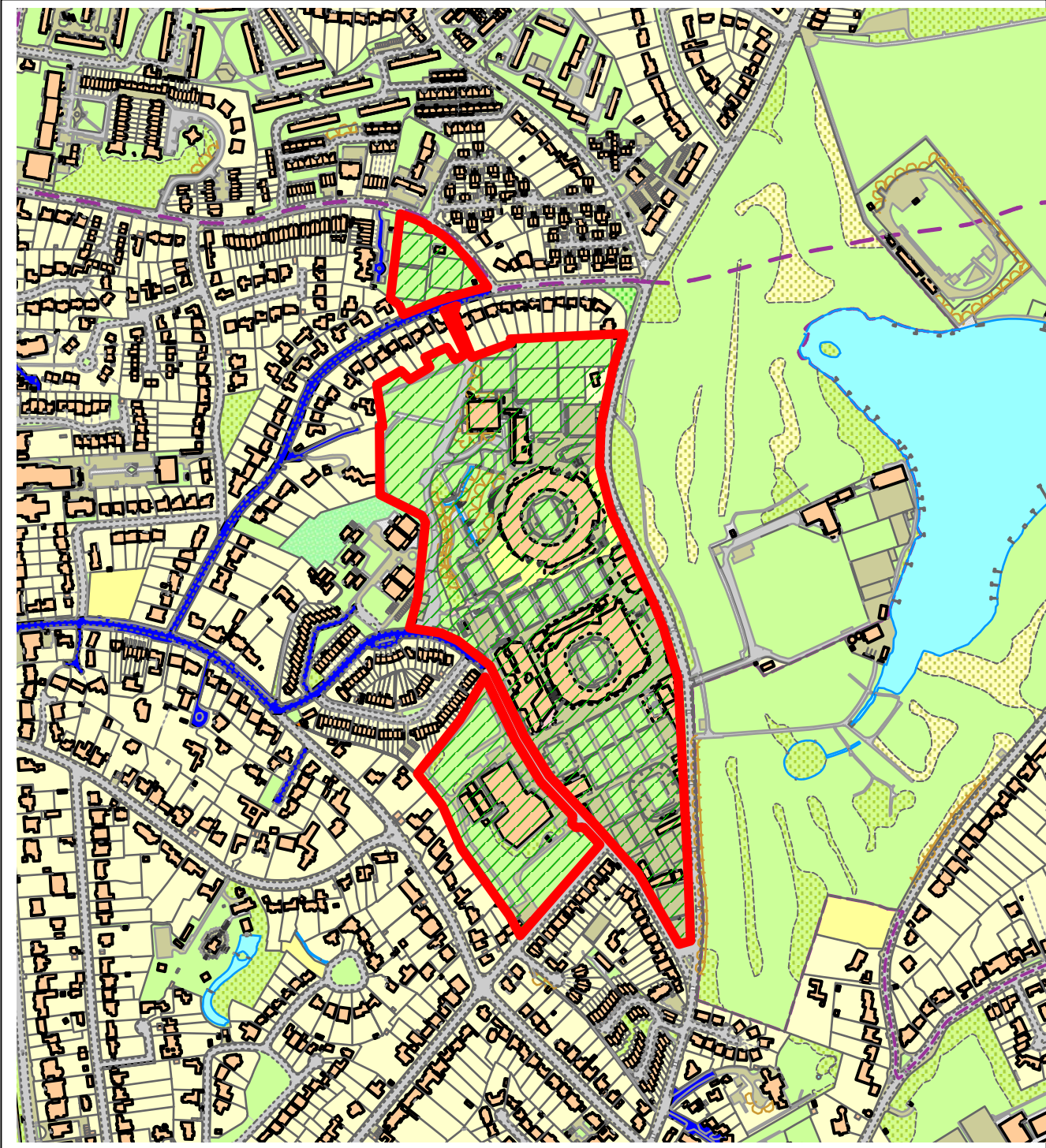
1. A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing [wwriskmanagement@thameswater.co.uk](mailto:wwriskmanagement@thameswater.co.uk). Application forms should be completed on line via [www.thameswater.co.uk](http://www.thameswater.co.uk). Please refer to the Wholesale; Business customers; Groundwater discharges section.
2. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.
3. Highways must be contacted regarding new crossing proposed and re-instatement of the existing. All works on the public highway are to be carried out by L B Merton and to Merton's specification.

Highways must be contacted prior to any works commencing on site to agree relevant licences, and access arrangements – no vehicles are allowed to cross the public highway without agreement from the highways section.

The applicant should contact David Furby of Council's Highway Team on: 0208 545 3829 prior to any work starting to arrange for this works to be done.



# NORTHGATE SE GIS Print Template



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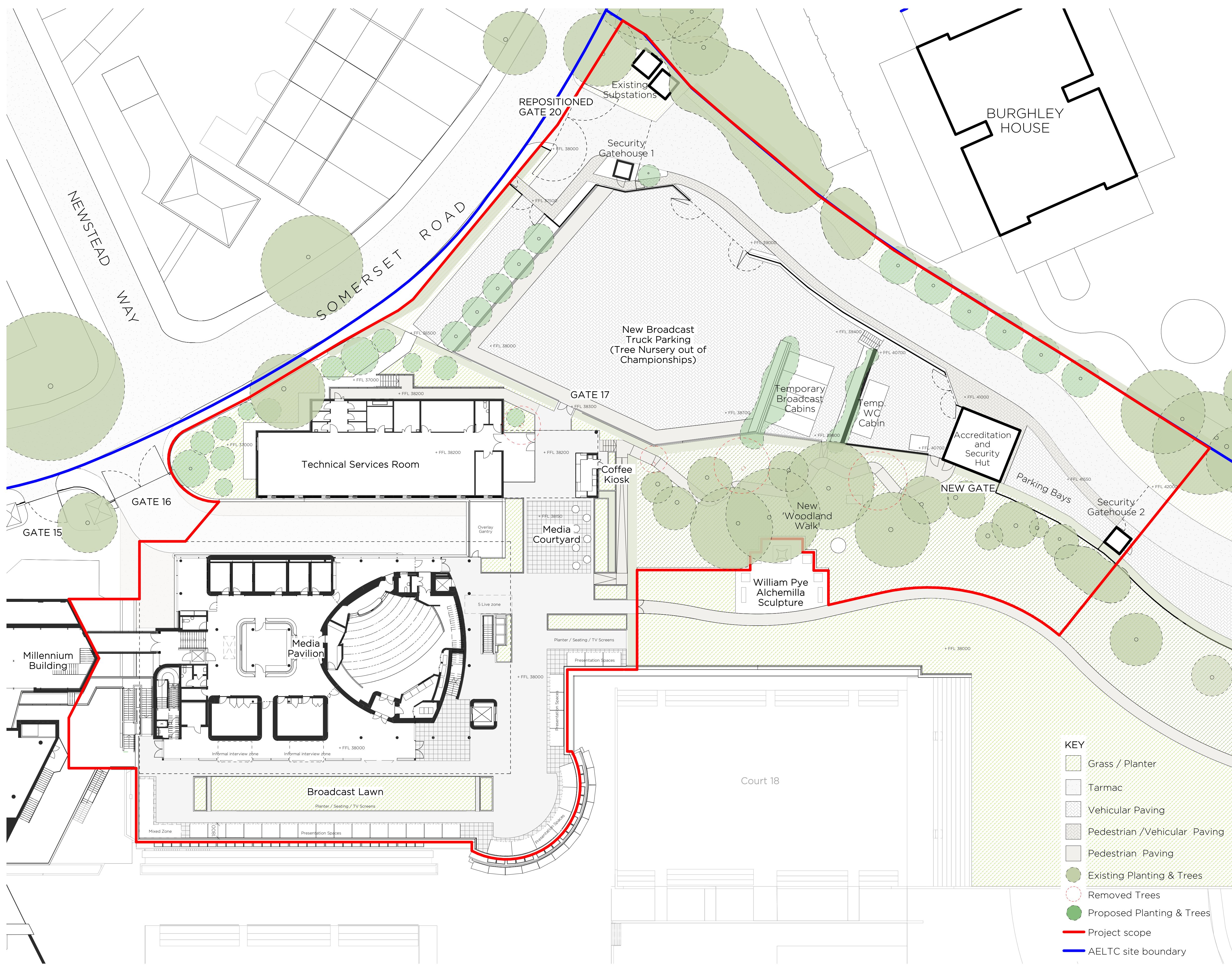
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<i>address</i> 321 Edinburgh House, 170 Kennington Lane London SE11 5DP	
<i>e-mail</i> office@langstaffday.co.uk	
<i>suitability</i> S3- For Review and Comment	<i>scale</i> 1:250@A1 1:500@A3
<i>project</i> Media Development Project	
<i>for</i> AELTC	
<i>title</i> Site Plan Level 32 - Proposed (Line)	
<i>drawing number</i> 51336-LDA-0010-03-DR-A-0020	<i>rev.</i> P01

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Rev.	Date	Description
00	23/10/2019	Issued for PreApp
P01	25/11/2019	Issued for Planning
P02	28/11/2019	Issued for Planning
P03	13/12/2019	Issued for Planning



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- KEY**
- Grass / Planter
  - Tarmac
  - Vehicular Paving
  - Pedestrian / Vehicular Paving
  - Pedestrian Paving
  - Existing Planting & Trees
  - Removed Trees
  - Proposed Planting & Trees
  - Project scope
  - AELTC site boundary

0 12.5m

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address 321 Edinburgh House, 170 Kennington Lane  
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project Media Development Project  
 for AELTC  
 title Site Plan Level 38 - During Championships - Proposed (Line)

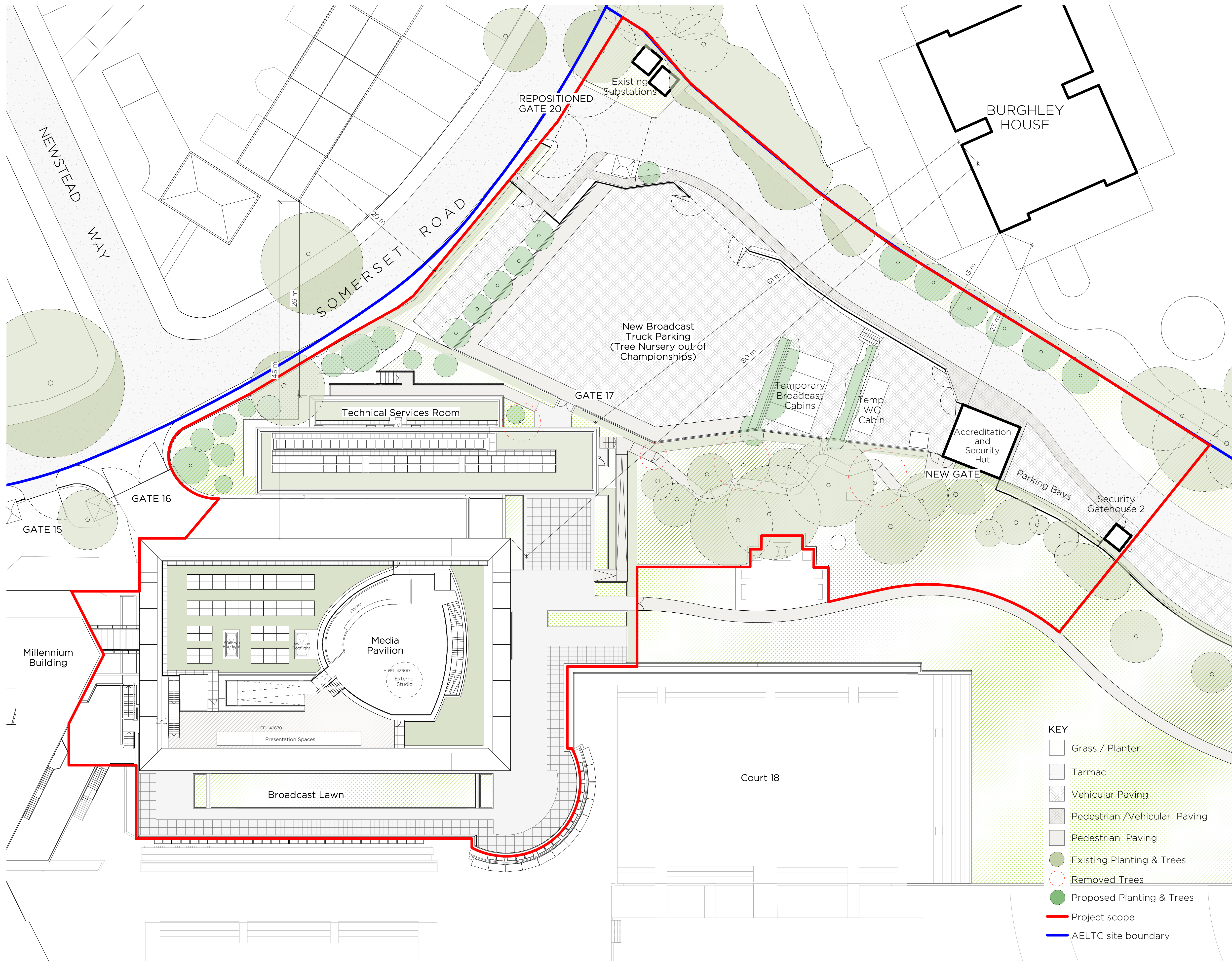
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Rev.	Date	Description
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P01	25/11/2019	Issued for Planning
P02	28/11/2019	Issued for Planning
P03	13/12/2019	Issued for Planning



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- KEY**
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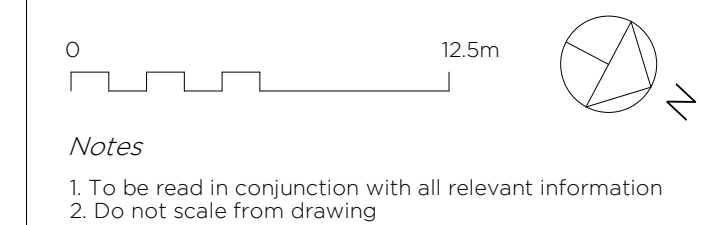
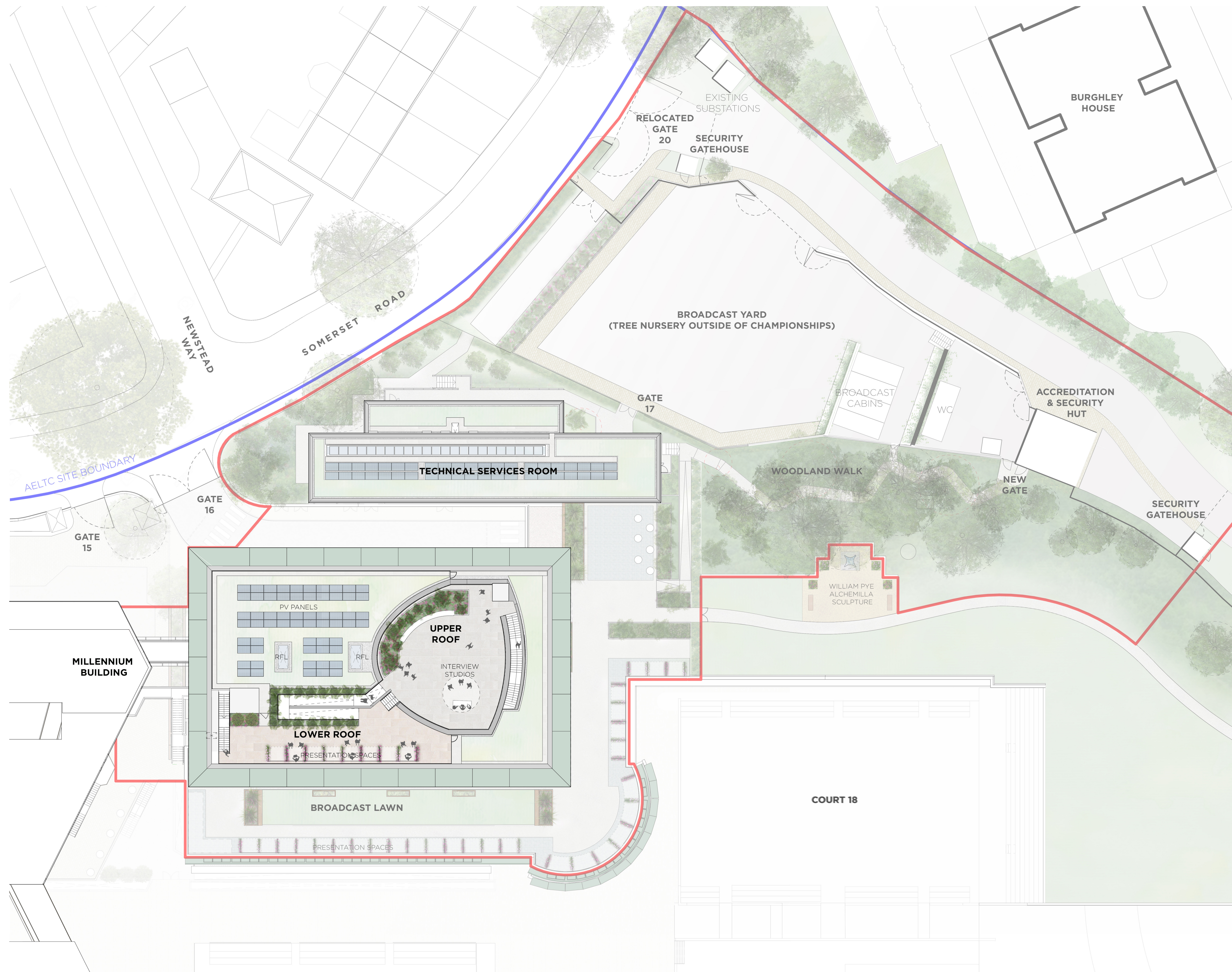
project Media Development Project  
 for AELTC  
 title Site Plan Level 43 - During Championships - Proposed (Line)

drawing number 51336-LDA-0010-05-DR-A-0022 rev. P03



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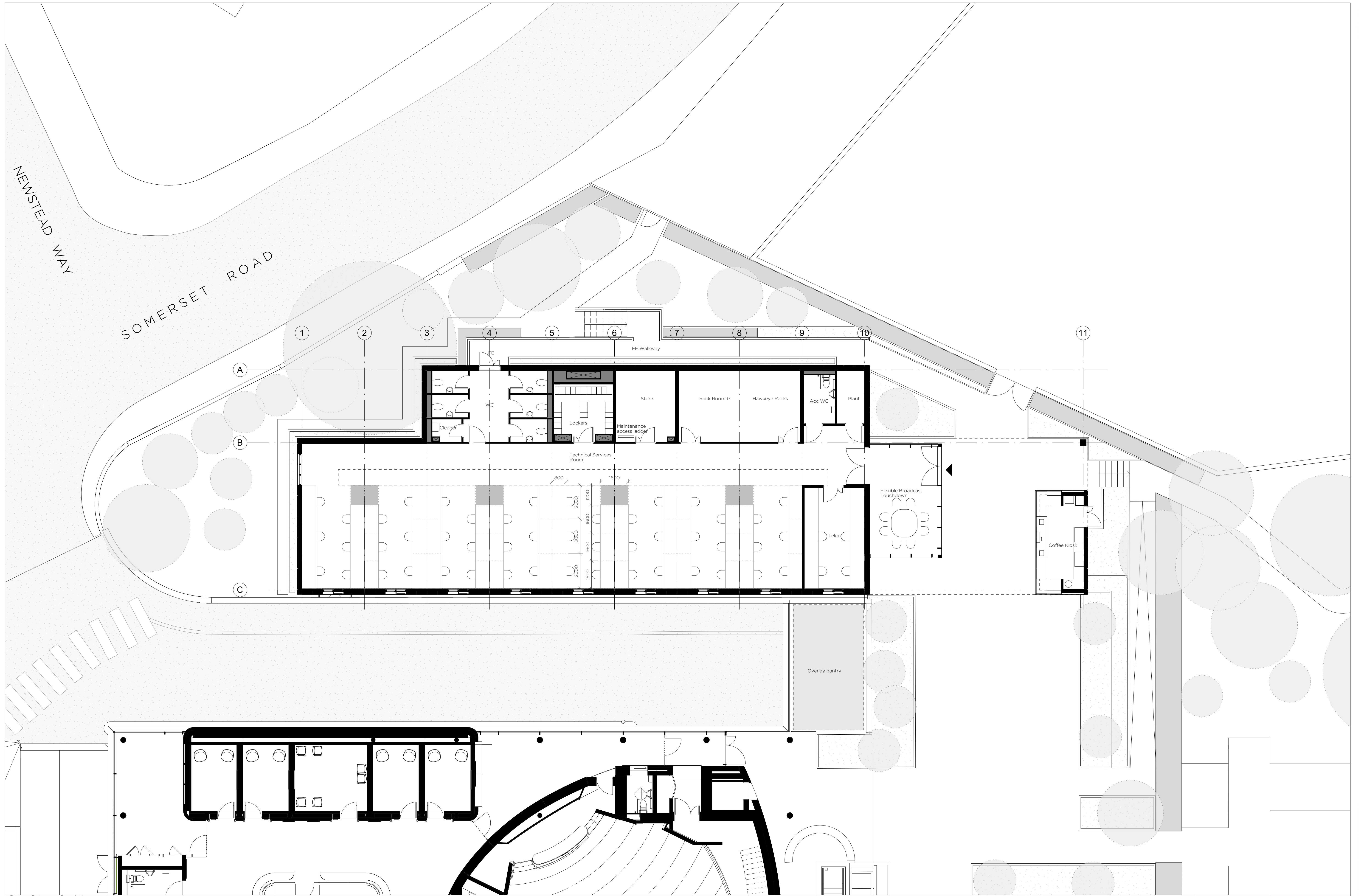
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 for AELTC  
 title Site Plan Level 43- During Championships - Proposed (Rendered)

drawing number 51336-LDA-0010-05-DR-A-0032	rev. P02
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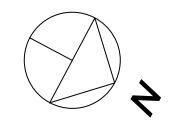
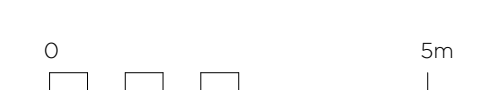


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Rev	Date	Description
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P01	13/12/2019	Reissued for planning

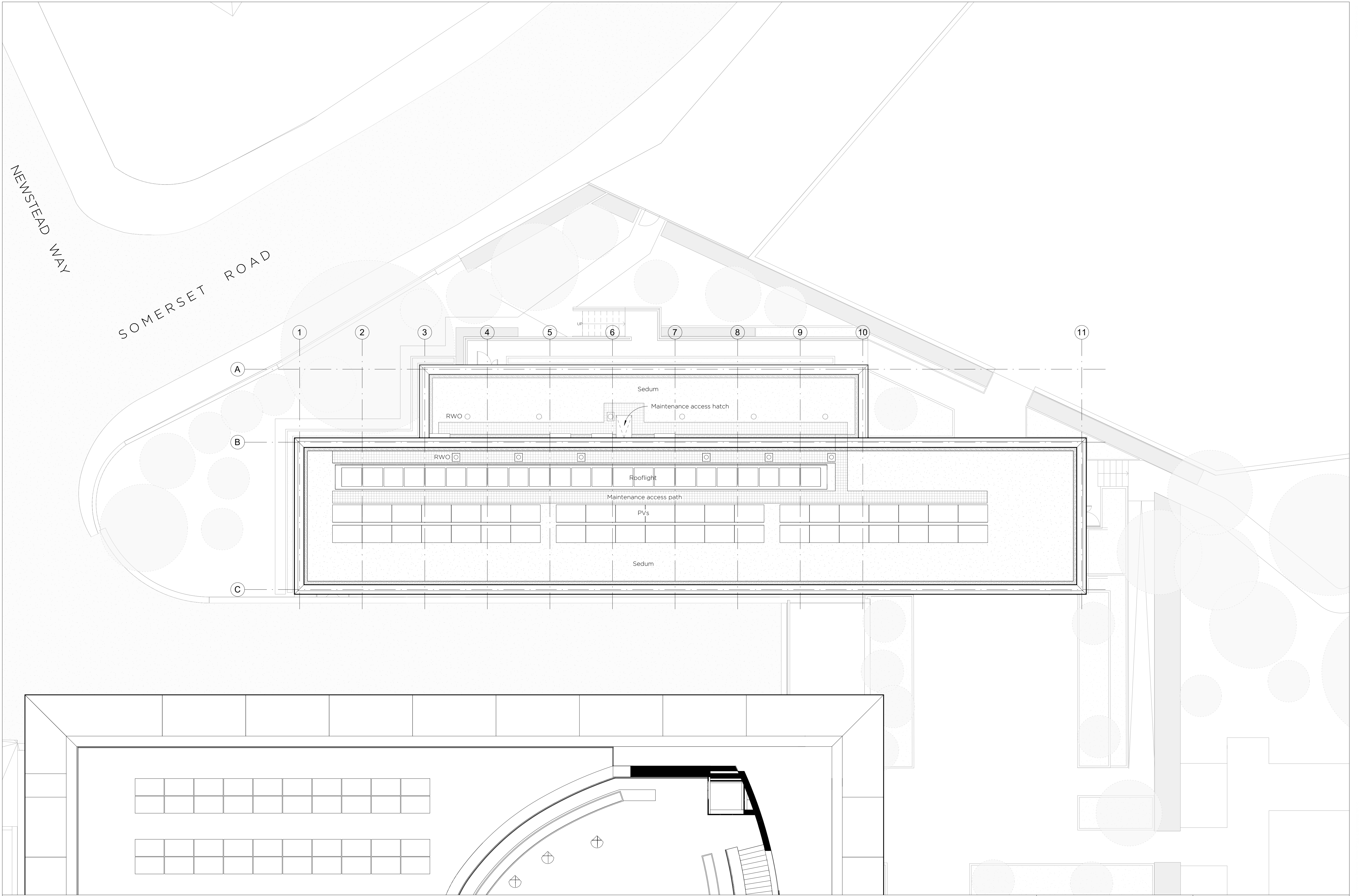
Notes  
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<b>LANGSTAFF DAY</b> ARCHITECTS		project	Technical Services Room
address 321 Edinburgh House, 170 Kennington Lane London SE11 5DP		for	AELTC
e-mail office@langstaffday.co.uk		title	Proposed GA Plan - Level 04(38)
suitability	S2 - For information	scale	1:100@A1 1:200@A3
drawing number	51336TSR-LDA-0010-04-DR-A-0201	rev	P01

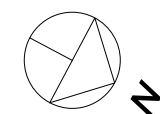
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Rev.	Date	Description
PO0	29/11/2019	Issued for planning
PO1	13/12/2019	Reissued for planning

Notes  
 1. To be read in conjunction with all relevant information  
 2. Do not scale from drawing

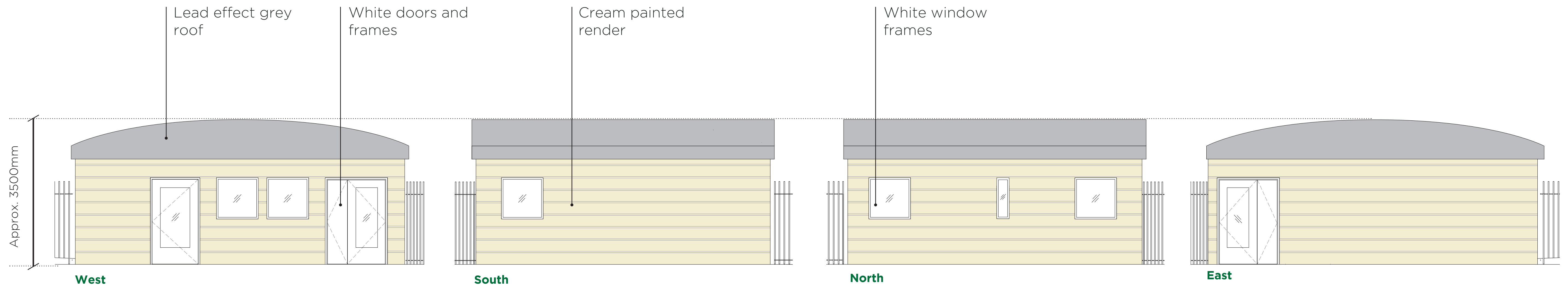


<b>LANGSTAFF DAY</b> ARCHITECTS		<i>project</i> Technical Services Room <i>for</i> AELTC <i>title</i> Proposed GA Plan - Level 05(42)
<i>address</i> 321 Edinburgh House, 170 Kennington Lane London SE11 5DP	<i>e-mail</i> office@langstaffday.co.uk	<i>drawing number</i> 51336TSR-LDA-0010-05-DR-A-0202
<i>suitability</i> S2 - For information	<i>scale</i> 1:100@A1 1:200@A3	<i>rev.</i> P01

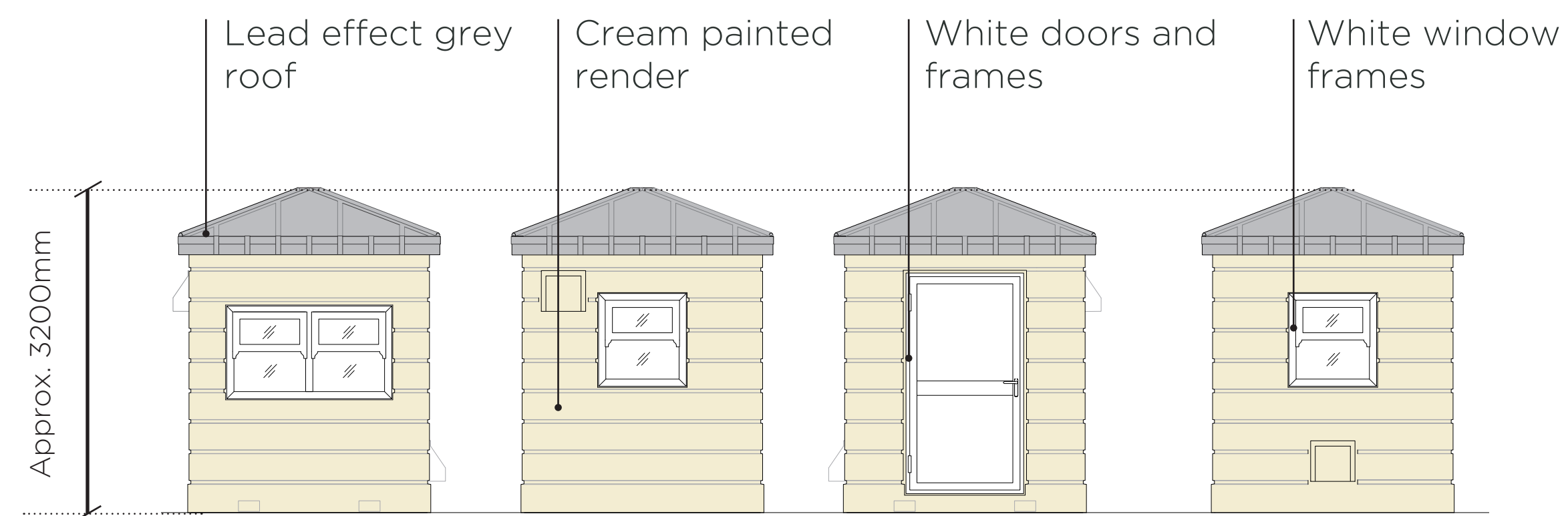
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### Elevation of Accreditation and Security Hut

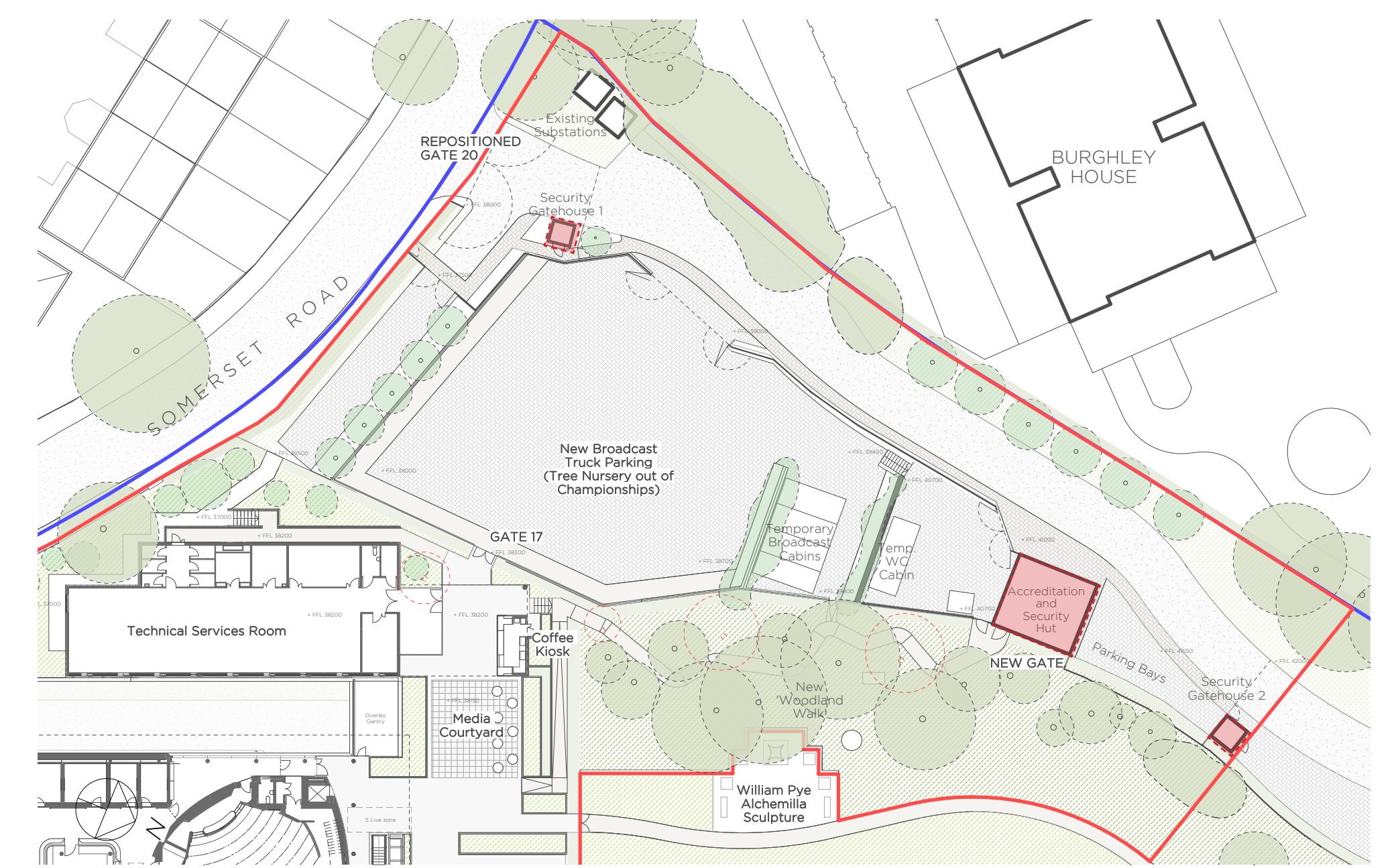


### Elevation of Security Gatehouse 1 & 2

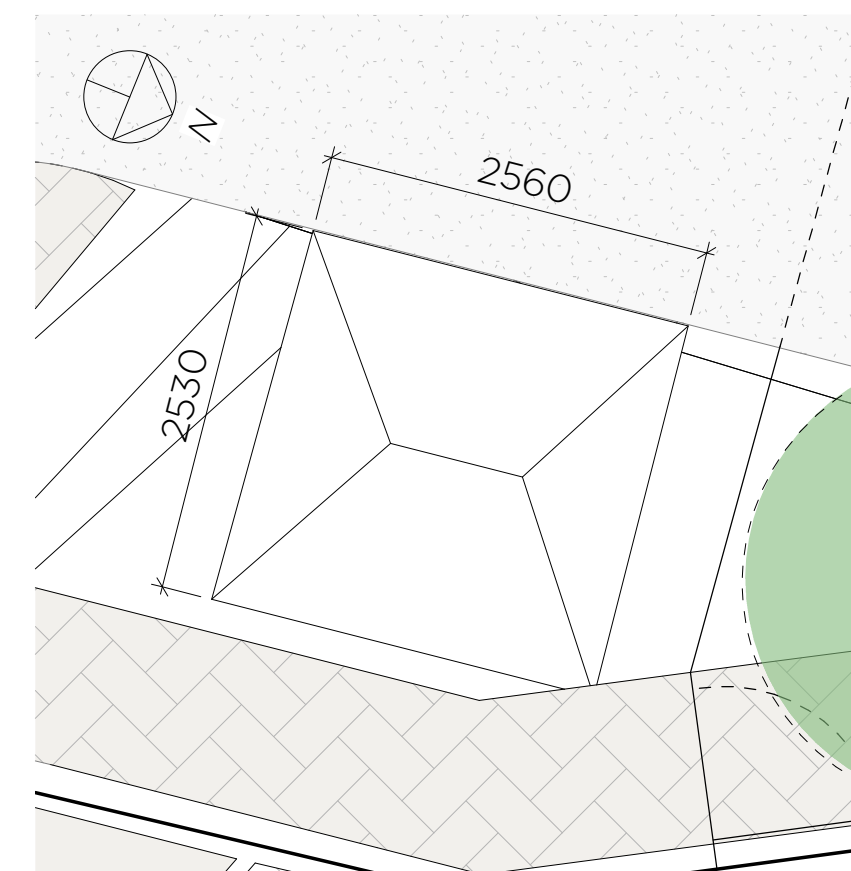


Existing Security Gatehouse 1

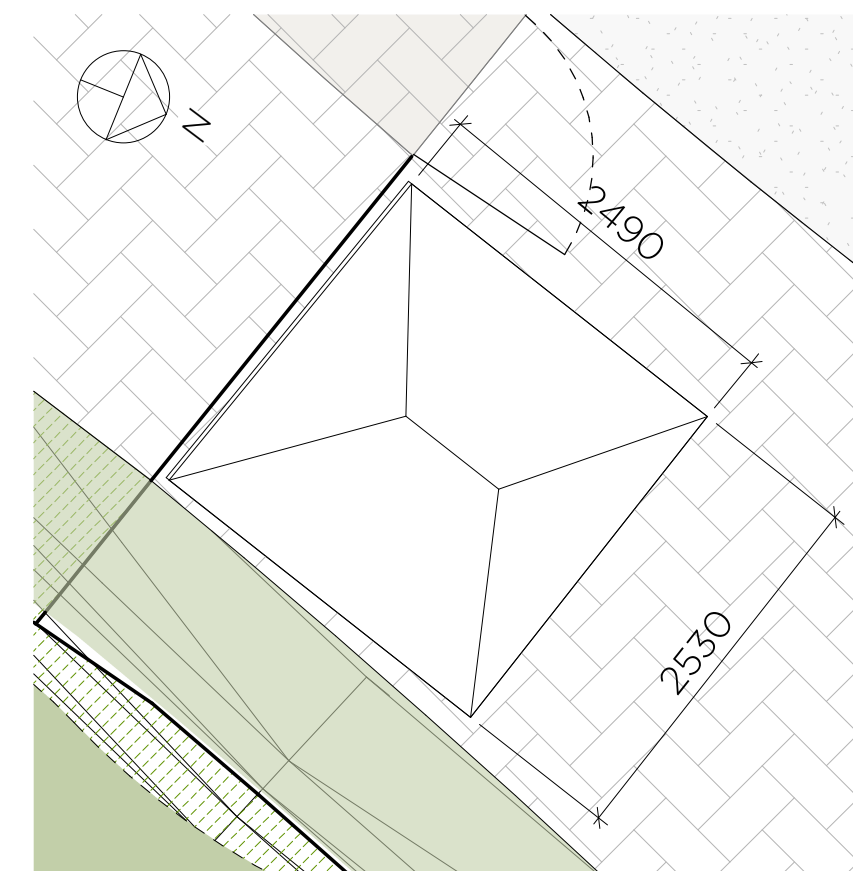
### Key Plan



### Plan of Security Hut 1



### Plan of Security Hut 2



Rev.	Date	Description
POO	25/11/2019	Issued for Planning
POI	13/12/2019	Issued for Planning

#### Notes

1. To be read in conjunction with all relevant information
2. Do not scale from drawing
3. Drawing issued for design intent only



#### LANGSTAFF ARCHITECTS DAY

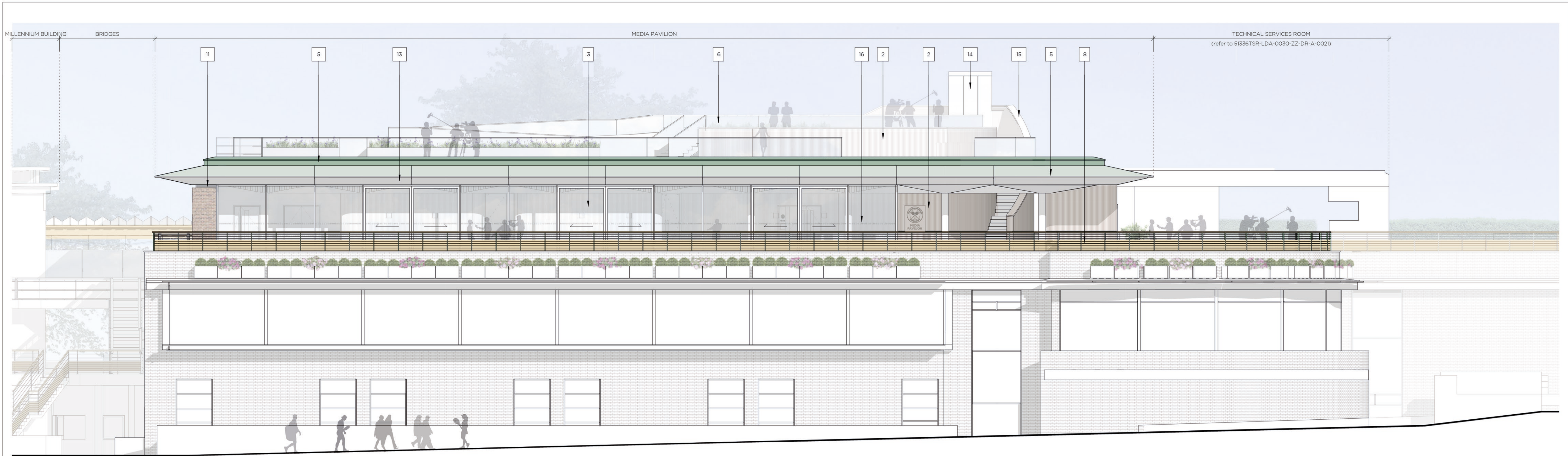
address 321 Edinburgh House, 170 Kennington Lane  
London SE11 5DP  
e-mail office@langstaffday.co.uk

project Gate 20  
for AELTC  
title Building Elevations

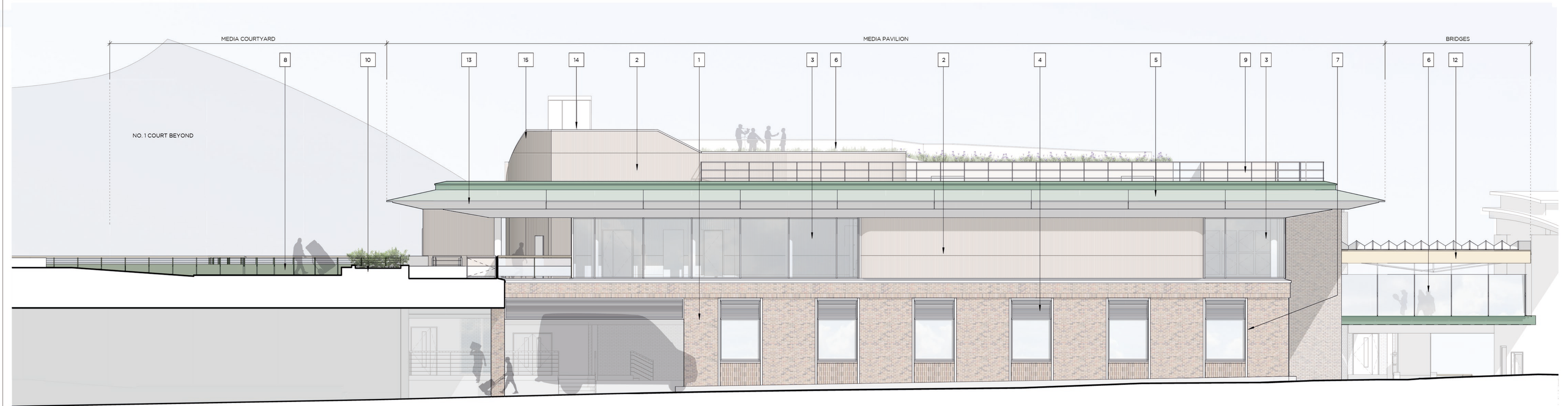
suitability	S3 - For Review and Comment	scale	1:50@A1 1:100@A3	drawing number	51336G20-LDA-0010-XX-DR-A-0021	rev.	PO1
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2 | East Elevation



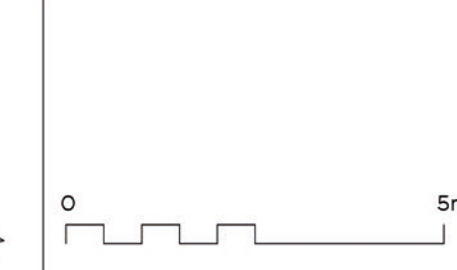
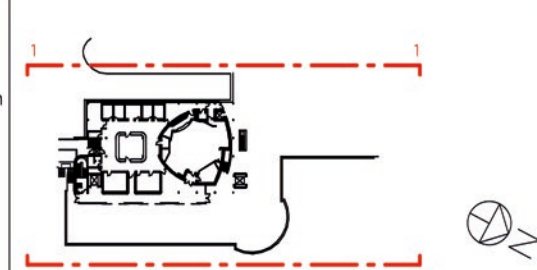
1 | West Elevation

PLAN KEY

Rev.	Date	Description
POO	28/11/19	Issued for Planning
POI	13/12/19	Issued for Planning

MATERIAL KEY

1 Brick finish	5 PPD green aluminium fascia, RAL 6007	9 Stainless steel balustrade	13 Silver or light grey anodised aluminium soffit
2 Terracotta cladding	6 Glazed balustrade	10 Planter (see LA drawings)	14 Silver or light grey anodised aluminium cladding
3 Full height glazing	7 Pre-cast cill and surround to glazing	11 Dark grey louvres	15 Pre-cast coping
4 Silver or light grey anodised aluminium louvres	8 Timber balustrade with green metal frame and backing	12 Retractable fabric roof	16 Statutory manifestation



**Notes**  
 1. To be read in conjunction with all relevant information  
 2. Do not scale from drawing  
 3. Drawing issued for design intent only

**LANGSTAFF DAY**  
 ARCHITECTS

address 321 Edinburgh House, 170 Kennington Lane  
 London SE11 5DP  
 e-mail office@langstaffday.co.uk

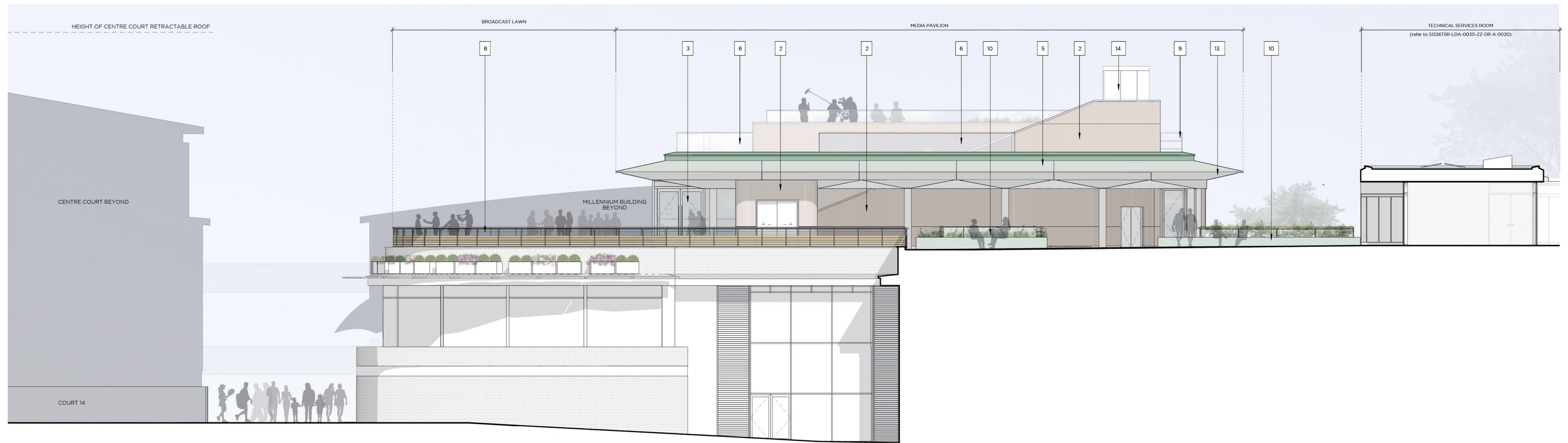
project Media Pavilion  
 for AELTC  
 title GA East and West Elevation

suitability S3 - For review and comment	scale 1:100@A1 1:200@A3	drawing number 51336MP-LDA-0010-ZZ-DR-A-0240	rev. P01
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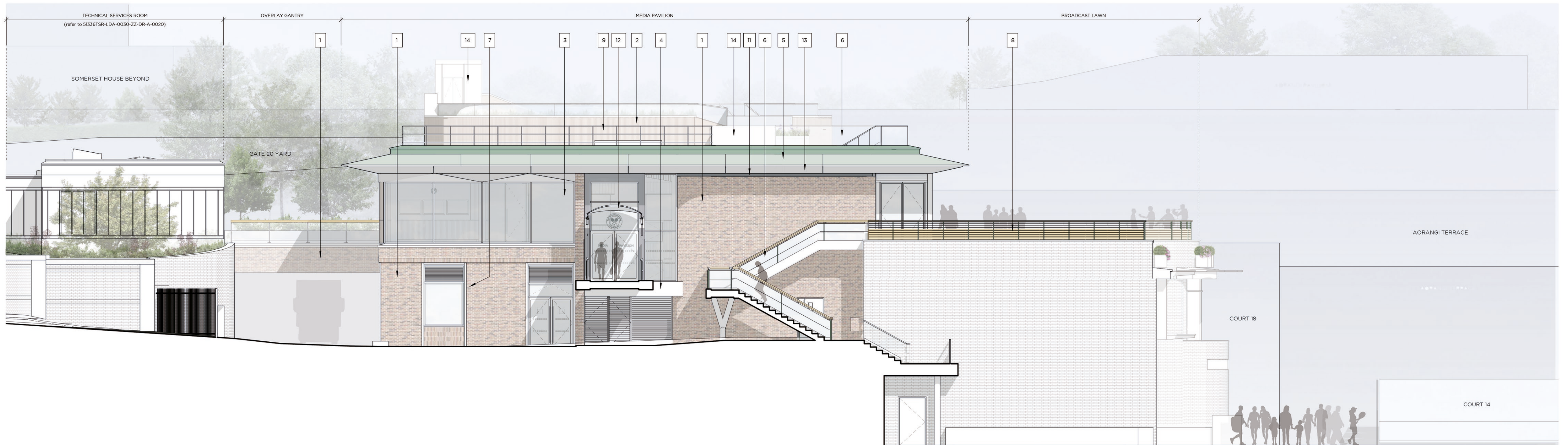


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1 North Elevation



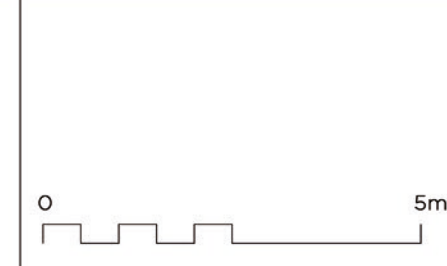
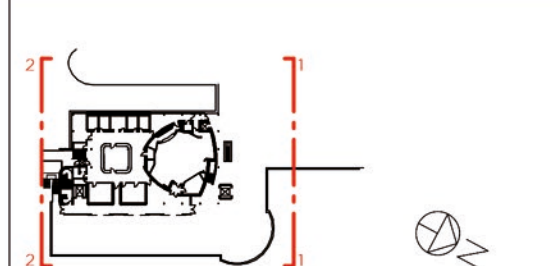
2 South Elevation

PLAN KEY

Rev.	Date	Description
POO	28/11/19	Issued for Planning
PO1	13/12/19	Issued for Planning

MATERIAL KEY

1 Brick finish	5 PPD green aluminium fascia, RAL 6007	9 Stainless steel balustrade	13 Silver or light grey anodised aluminium soffit
2 Terracotta cladding	6 Glazed balustrade	10 Planter (see LA drawings)	14 Silver or light grey anodised aluminium cladding
3 Full height glazing	7 Pre-cast cill and surround to glazing	11 Dark grey louvres	15 Pre-cast coping
4 Silver or light grey anodised aluminium louvres	8 Timber balustrade with green metal frame and backing	12 Retractable fabric roof	16 Statutory manifestation



Notes  
 1. To be read in conjunction with all relevant information  
 2. Do not scale from drawing  
 3. Drawing issued for design intent only

**LANGSTAFF DAY**  
ARCHITECTS

address 321 Edinburgh House, 170 Kennington Lane  
 London SE11 5DP  
 e-mail office@langstaffday.co.uk

suitability S3 - For Review and Comment

scale 1:100@A1  
 1:200@A3

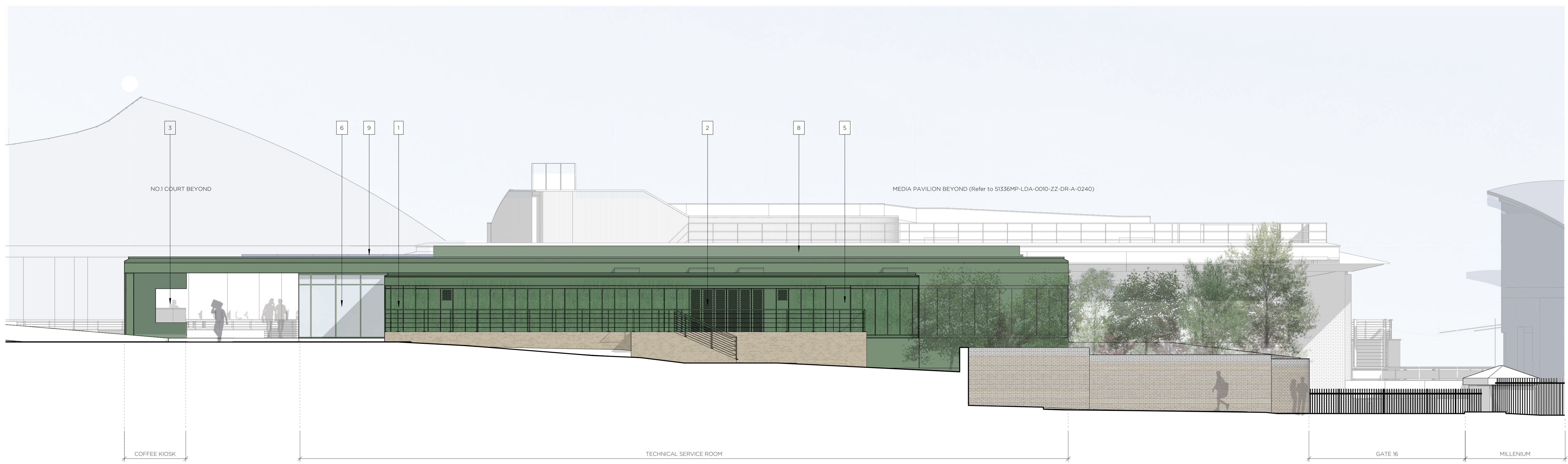
project Media Pavilion  
 for AELTC  
 title GA North and South Elevation

drawing number 51336MP-LDA-0010-ZZ-DR-A-0241  
 rev. P01



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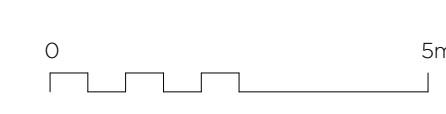
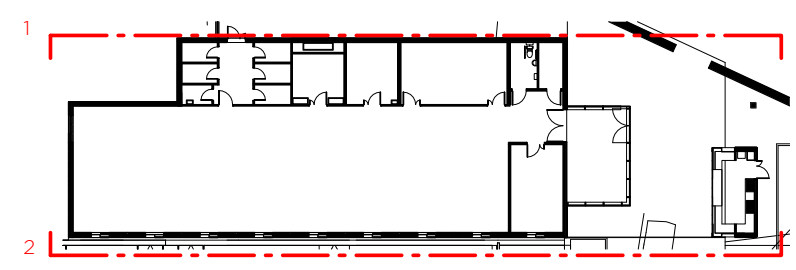
1 Proposed GA Elevation - West



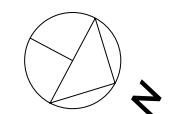
2 Proposed GA Elevation - East

Rev.	Date	Description
P00	29/11/2019	Issued for planning
P01	13/12/2019	Reissued for planning

MATERIAL KEY					
1	PPC ALUMINIUM RAINSCREEN CLADDING	5	TIMBER COMPOSITE DOOR	9	PHOTOVOLTAIC PANELS
2	PPC ALUMINIUM PERFORATED LOUVRE	6	TIMBER COMPOSITE FULL HEIGHT GLAZING	10	EXISTING BRICKWORK
3	PCC ALUMINIUM PERFORATED SHUTTER	7	TIMBER COMPOSITE GLAZED DOOR	11	SECRET GUTTER
4	TIMBER COMPOSITE WINDOW	8	ROOFLIGHT		



**Notes**  
 1. To be read in conjunction with all relevant information  
 2. Do not scale from drawing



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 ARCHITECTS

address 321 Edinburgh House, 170 Kennington Lane  
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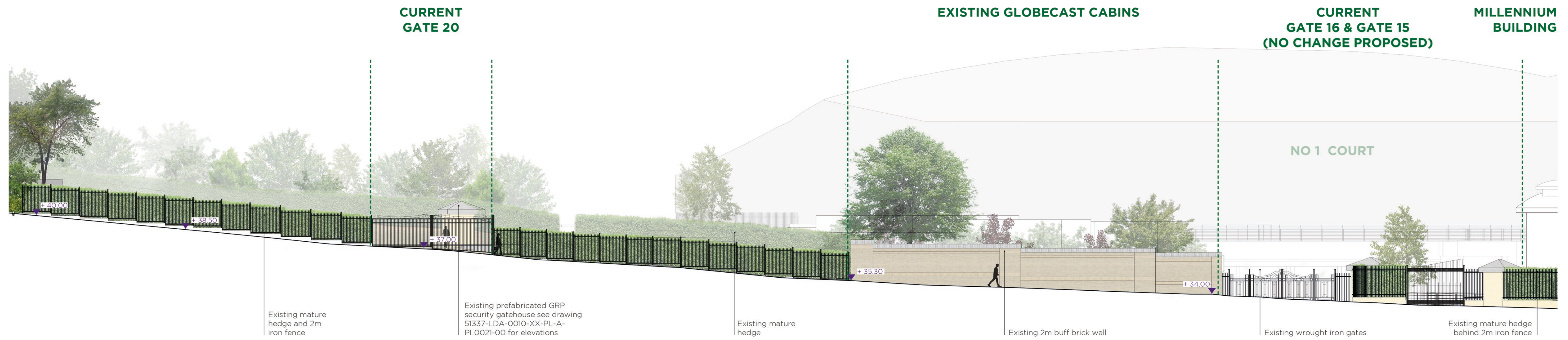
project Technical Services Room  
 for AELTC  
 title Proposed GA Elevation - East and West

suitability S2 - For information scale 1:100@A1  
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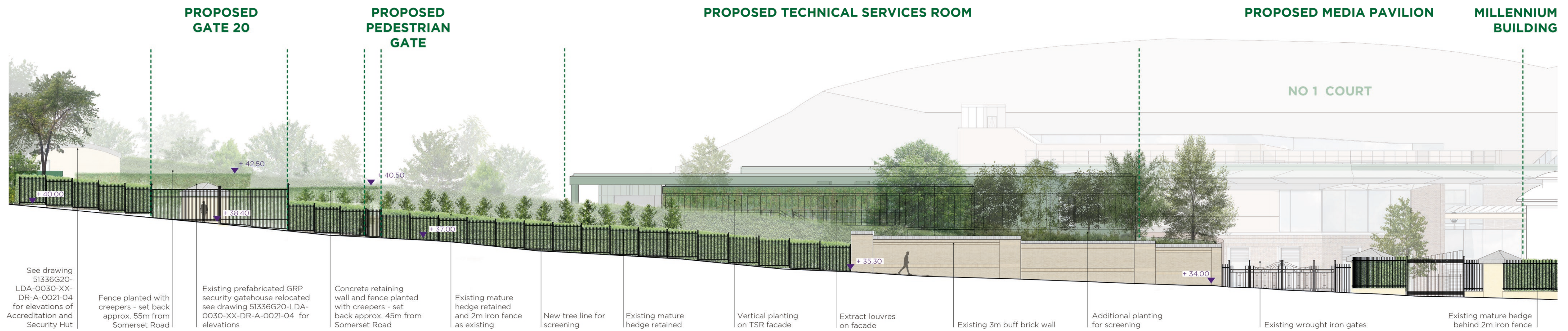


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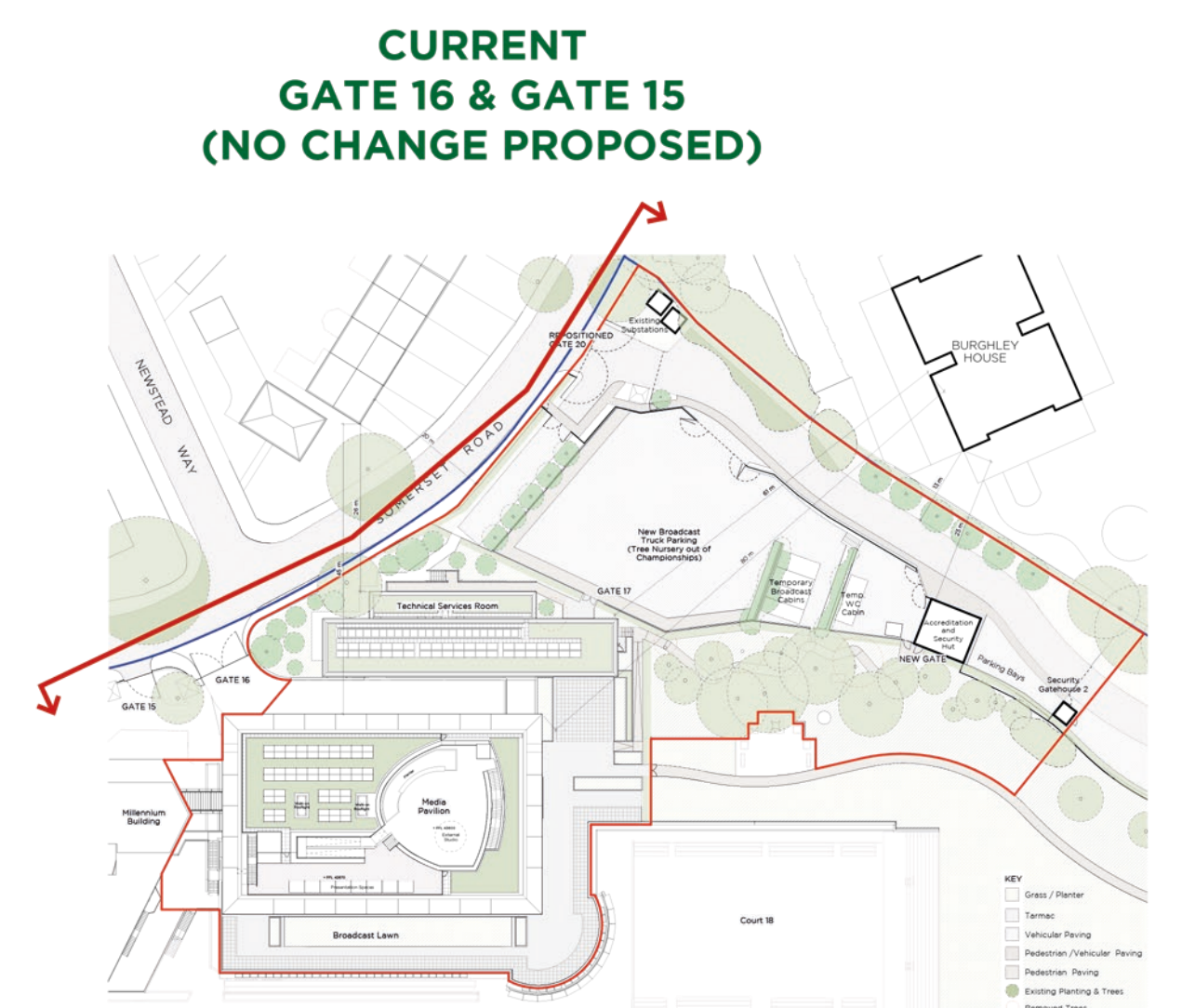




SOMERSET ROAD ELEVATION - EXISTING



SOMERSET ROAD ELEVATION - PROPOSED



Rev.	Date	Description
P00	25/11/2019	Issued for Planning
P01	28/11/2019	Issued for Planning
P02	13/12/2019	Issued for Planning

**Notes**  
 1. To be read in conjunction with all relevant information  
 2. Do not scale from drawing

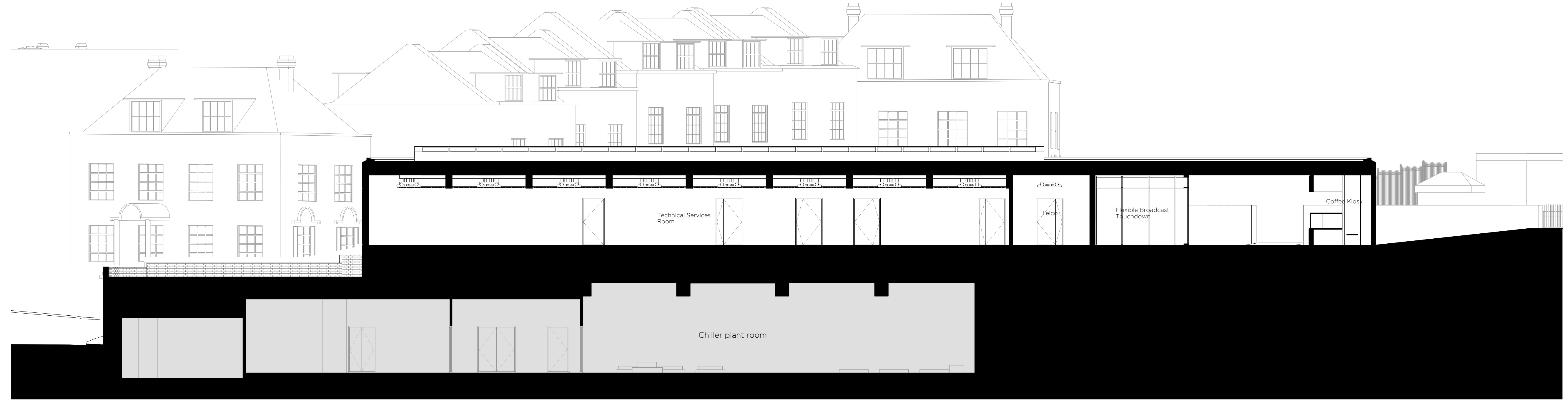
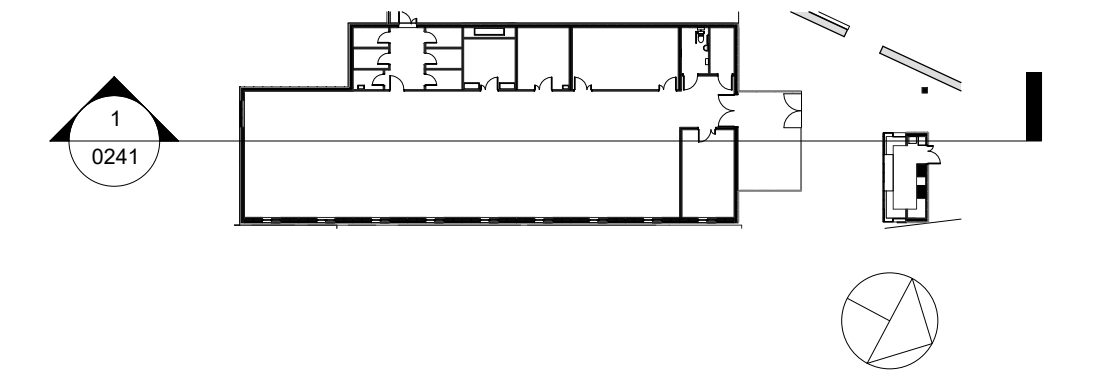


<b>LANGSTAFF DAY</b> ARCHITECTS		<b>project</b> Media Development Project <b>for</b> AELTC <b>title</b> Site Elevation from Somerset Road - Existing and Proposed	
<b>address</b> 321 Edinburgh House, 170 Kennington Lane London SE11 5DP <b>e-mail</b> office@langstaffday.co.uk	<b>suitability</b> S3 - For Review and Comment	<b>scale</b> 1:150@A1 1:300@A3	<b>drawing number</b> 51336-LDA-0010-XX-DR-A-0050 <b>rev.</b> P02



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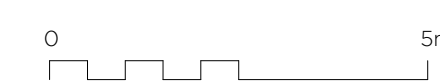




1 | Proposed GA Section - CC

Rev. Date Description  
 P00 29/11/2019 Issued for planning  
 P01 13/12/2019 Reissued for planning

Notes  
 1. To be read in conjunction with all relevant information  
 2. Do not scale from drawing



**LANGSTAFF DAY**  
 ARCHITECTS

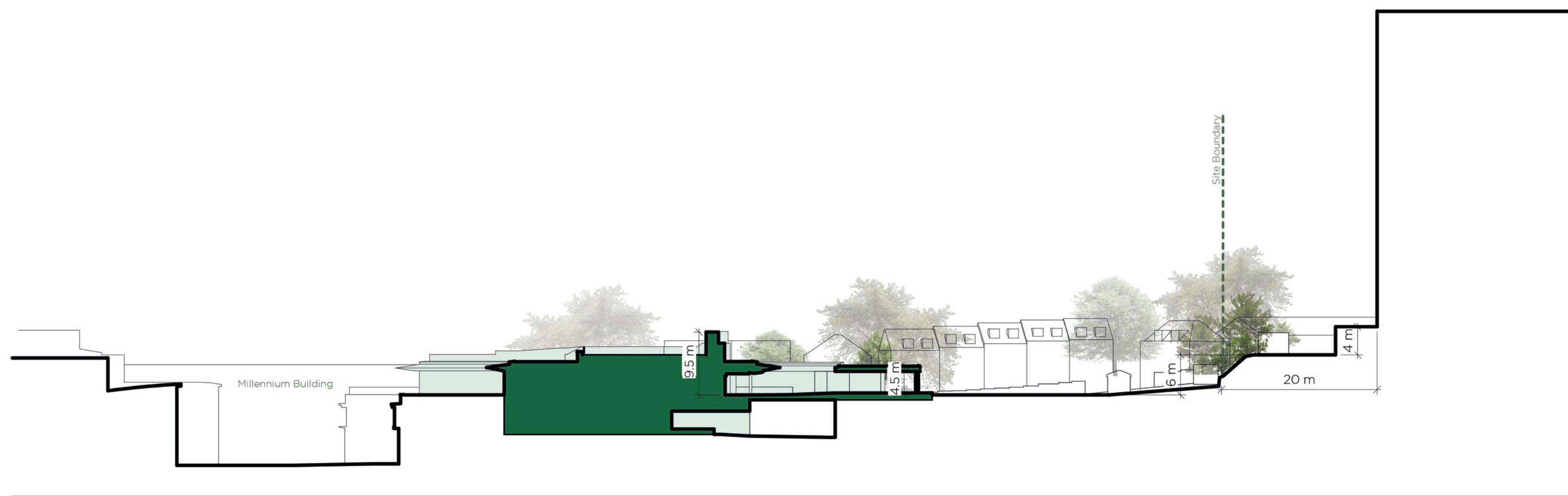
address 321 Edinburgh House, 170 Kennington Lane  
 London SE11 5DP  
 e-mail office@langstaffday.co.uk

project Technical Services Room  
 for AELTC  
 title Proposed GA Section - CC

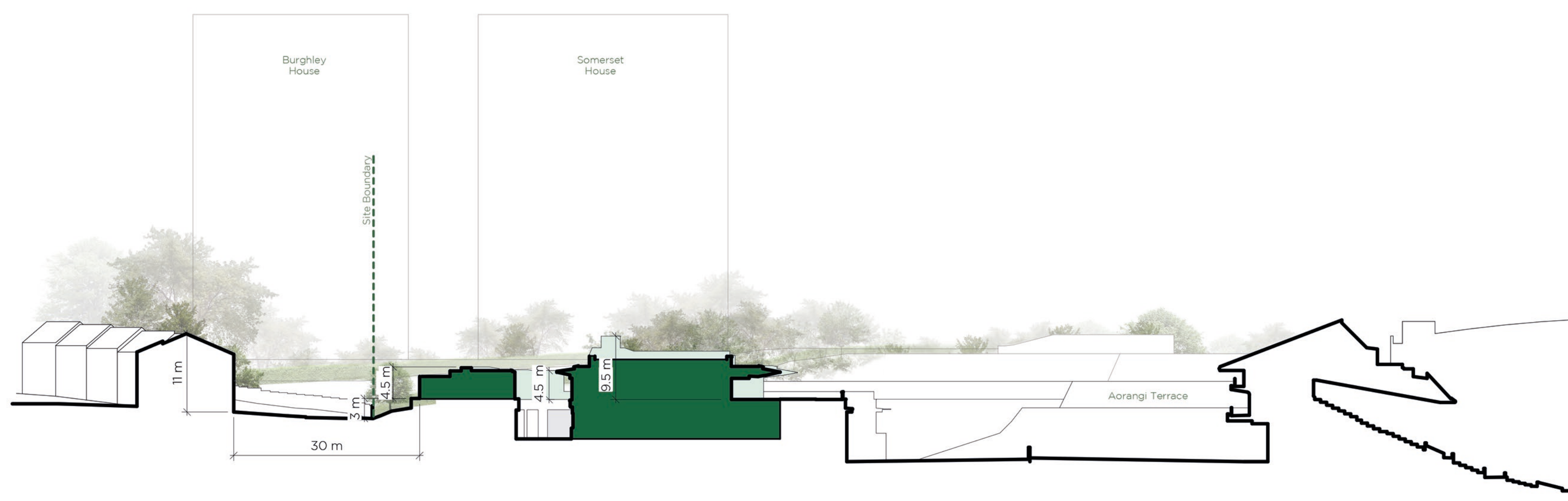
suitability S2 - For information	scale 1:100@A1 1:200@A3	drawing number 51336TSR-LDA-0010-ZZ-DR-A-0241	rev. P01
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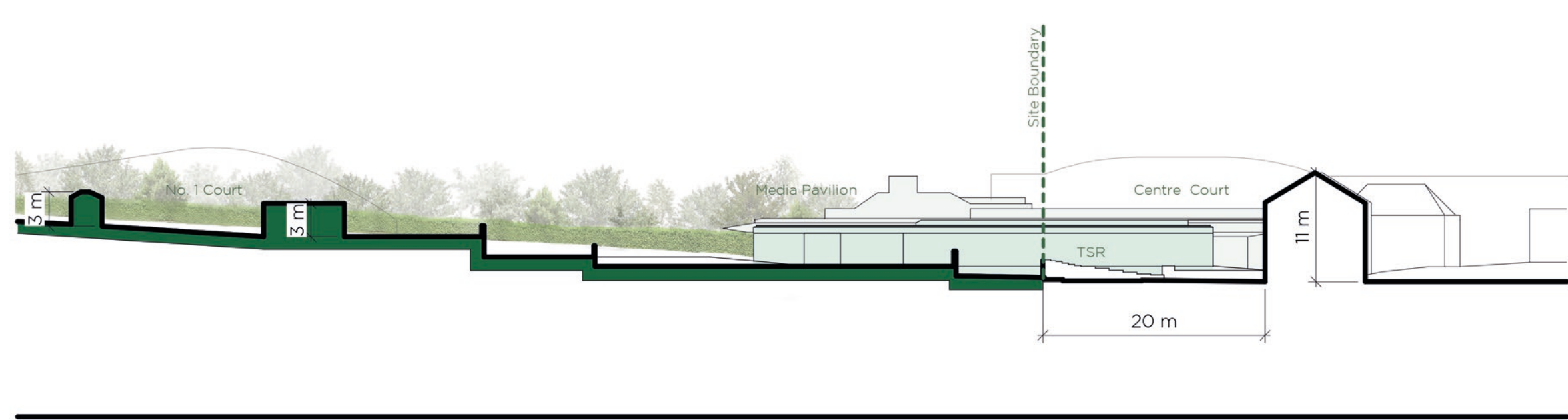




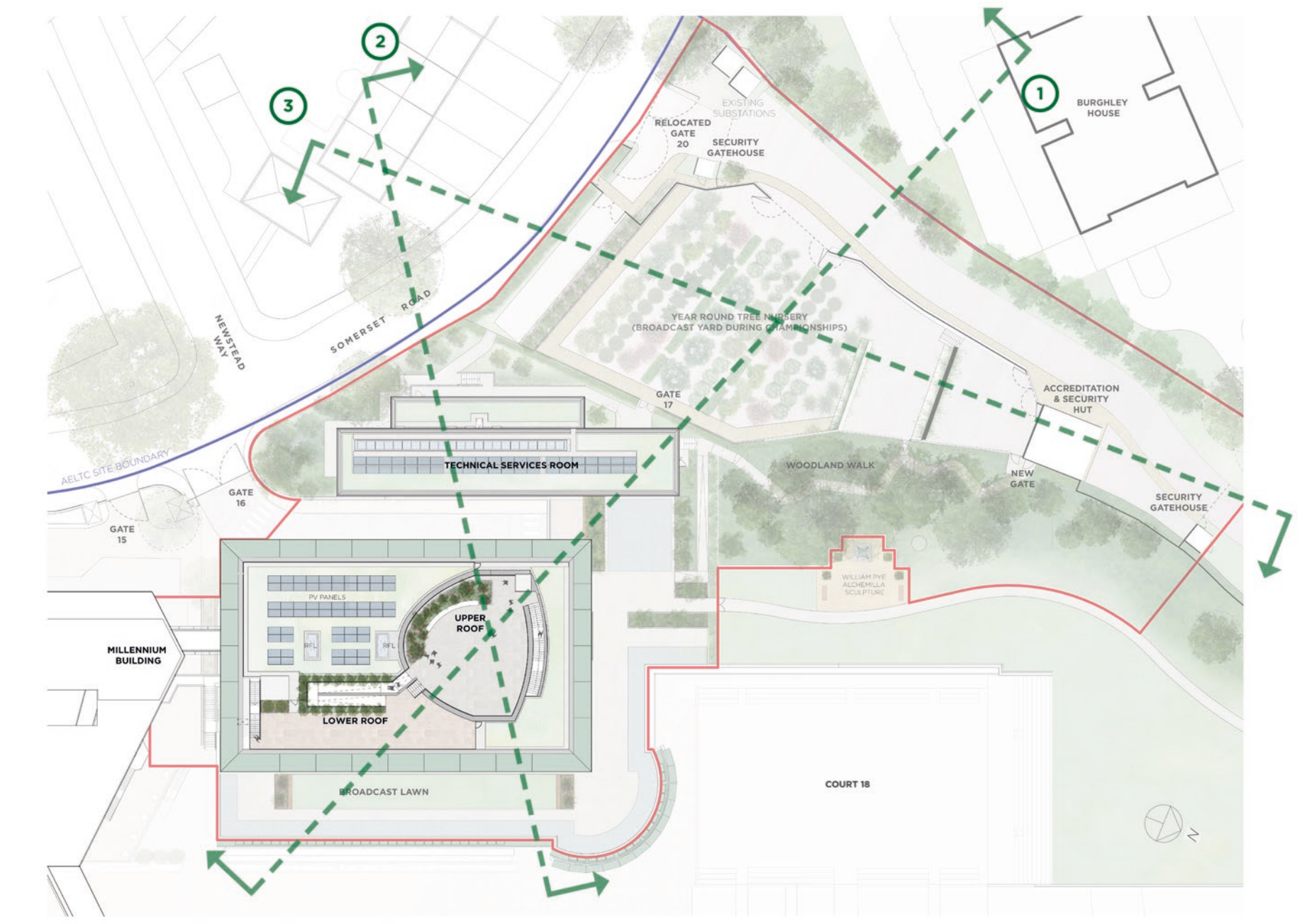
**SECTION 01** THROUGH BROADCAST CENTRE AND BURGHLEY HOUSE



**SECTION 02** THROUGH SOMERSET ROAD, BROADCAST CENTRE, AND NO.1 COURT



**SECTION 03** THROUGH SOMERSET ROAD AND GATE 20 YARD



Rev.	Date	Description
PO0	25/11/2019	Issued for Planning
PO1	28/11/2019	Issued for Planning
PO2	13/12/2019	Issued for Planning

**Notes**  
 1. To be read in conjunction with all relevant information  
 2. Do not scale from drawing



<b>LANGSTAFF DAY</b> ARCHITECTS		<i>project</i> Media Development Project	<i>rev.</i>
address 321 Edinburgh House, 170 Kennington Lane London SE11 5DP		<i>for</i> AELTC	
e-mail office@langstaffday.co.uk		<i>title</i> Site Sections - Proposed	
<i>suitability</i> S3 - For Review and Comment	<i>scale</i> 1:500@A1 1:1000@A3	<i>drawing number</i> 51336-LDA-0010-XX-DR-A-0071	<i>rev.</i> P02



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Rev.	Date	Description
P01	06/01/2020	Issued for planning

<b>LANGSTAFF DAY</b> <small>ARCHITECTS</small>		<i>project</i> Media Pavillion
<i>address</i> 321 Edinburgh House, 170 Kennington Lane London SE11 5DP		<i>for</i> AELTC
<i>e-mail</i> office@langstaffday.co.uk		<i>title</i> External Visual - Towards Gate 16
<i>suitability</i> S2 - For Information	<i>scale</i> NTS@A1 NTS@A3	<i>drawing number</i> 51336MP-LDA-0000-ZZ-VS-A-0007
		<i>rev.</i> P01



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**PLANNING APPLICATIONS COMMITTEE  
14 MAY 2020**

**Item No:**

**UPRN**

**APPLICATION NO.**

**DATE VALID**

19/P3324

11/09/2019

**Address/Site** 28 Lauriston Road, Wimbledon, SW19 4TQ

**(Ward)** **Village**

**Proposal:** Demolition of existing detached dwelling house and the erection of a new single storey dwelling house with accommodation at basement level) and provision of off-street parking and associated landscaping works.

**Drawing Nos** 219.07.2000.PL P1, 21000.PL P2, 24000.PL P2, 31000.EL P2, 32000.EL P2, 34000.EL P2, 33000.EL P2, 41000.SEC P2, 42000.SEC P2 and Design and Access Statement

**Contact Officer:** Richard Allen (020 8545 3621)

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**RECOMMENDATION**

**GRANT Planning Permission subject to conditions.**

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**CHECKLIST INFORMATION**

- Heads of agreement: No
- Is a screening opinion required: No
- Is an Environmental impact statement required: No
- Has an Environmental Impact Assessment been submitted: No
- Press notice: Yes
- Site notice: Yes
- Design Review Panel consulted: No
- Number neighbours consulted – 8
- External consultants: None
- Density: n/a
- Number of jobs created: n/a
- Archaeology Priority Zone: No
- Conservation Area: Yes (Wimbledon West)

## 1. **INTRODUCTION**

- 1.1 This application has been brought to the Planning Applications Committee due to the nature and number of objections received.

## 2. **SITE AND SURROUNDINGS**

- 2.1 The application site comprises a two storey detached dwelling house situated on north east side of Lauriston Road at the junction with Wilberforce Way. The application property occupies a corner plot with a side garden boundary onto Wilberforce Way. There are mature trees within the front garden and alongside the side garden boundary. The application site is within the Merton (Wimbledon West) Conservation Area. The surrounding area comprises residential properties.

## 3. **CURRENT PROPOSAL**

- 3.1 The current application involves the demolition of the existing detached dwelling house and the erection of a new single storey dwelling house (with accommodation at basement level) and provision of off-street parking and associated landscaping works.
- 3.2 The proposed building would be sited between 5 and 10 metres away from the Lauriston Road frontage and would range in width between 9.5 and 16.5 metres in width. The overall length of the house would be 27 metres. The building would have a flat roof with the height of the building ranging between 3.5 and 5.2 metres. The building would be arranged as a series of pavilions with courtyard gardens between various wings of the building. The proposed house would be single storey although a basement would be provided beneath the central section of the building. A contemporary design approach has been adopted for the proposed dwelling house, with use of flat roof design and external facing brick to elevations.
- 3.3 Internally, at basement level, a studio, gym, plant and store rooms would be provided. At ground floor level the proposed house would comprise an entrance hall, study/bedroom, combined living/kitchen/dining area, utility room, garden room and three further bedrooms.
- 3.4 Vehicle access would be provided off Wilberforce Way and the existing access off Lauriston Road would be closed, providing pedestrian access only. Four outdoor courtyards would be provided, each with a mixture of soft and hard landscaping.

## 4. **PLANNING HISTORY**



- 4.1 In July 2018 a pre-application meeting was held in connection with the proposed demolition of the existing dwelling and erection of a new dwelling house (LBM Ref.18/P2187).

## 5. CONSULTATION

- 5.1 The application has been advertised by Conservation Area Site and Press notice procedure and letters to occupiers of neighbouring properties. In response 5 letters of objection have been received. The grounds of objection are set out below: -

-The site has been derelict for some time and residents are keen to see the redevelopment of the site. However, the proposed design of the dwelling is not in keeping with the Conservation Area and the listed buildings nearby. The local area in Lauriston road and Wilberforce way has seen positive redevelopment of several houses including 3 Wilberforce way and the house opposite the application site. These developments include a variety of architectural styles, but as required by policy DM D2, they all relate positively and appropriately to the setting, respecting a common theme and somewhat traditional character of housing.

-The proposed design is a low height concrete structure with a flat roof throughout. It is unremittingly ugly and not at all in keeping with anything seen in Wimbledon, let alone in the Conservation Area. It resembles a military installation or a prison.

-The proposal would result in brick walls along Lauriston Road and Wilberforce Way and these walls would be at least 2 metres in height, rising to 4 metres in parts along Wilberforce Way, save for a door in Lauriston Road the walls are solid and unbroken by any windows, railings or planting. The view of the property from the surrounding streets and neighbouring houses would be of unremitting brickwork.

-The design of the proposed house is not in keeping with the open design of neighbouring properties.

-It is proposed to provide two parking spaces accessed from Wilberforce Way. Historically vehicular and pedestrian access has been from Lauriston Road and not from Wilberforce Way. The only access from Wilberforce way has been from a small door in the fence, which has not been used for many years. There has never been vehicular access from Wilberforce Way and the proposed parking would result in the loss of at least one on-street parking space in Wilberforce Way. Therefore, off street parking for the development should be from Lauriston Road.

### 5.2 The Wimbledon Society

The Wimbledon Society note that the current house is derelict and lies within the Merton (Wimbledon West) Conservation Area. The unusual design for a single storey building over a basement, will most likely have a corresponding low impact on the street scene. Battery storage and PV panels are mentioned but it is not clear from the energy statement if gas is to be used for central heating. Permeable paving is a welcome intent. All of the trees on the site are recommended for removal in the arbouricultural report. The Wimbledon Society would like to suggest that a condition be imposed regarding

replacement trees, in order to compensate for the loss of significant tree mass in the local scene, the Council should require replacement trees that match the combined ages of all those trees that will be lost.

5.3 Two letters have been received supporting the proposed development have been received and comments are set out below: -

-Of particular concern to residents is the state of the trees within the site and the overgrown trees along the edge of the property which are alien species and have been allowed to grow to a stage where they are a danger to surrounding properties and pedestrians. The roots have damaged the pavement and road. There is a real risk from the trees as witnessed 4/5 years ago when one tree fell and damaged the roof of 28 Lauriston Road. Therefore, the findings of the Arbouricultural Report are supported and the trees should be removed.

-The proposed design of the house an imaginative 'pavilion' style low rise building set in four planted courtyards.

-The varying heights of the 'pavilions' will create visual interest particularly from the north facing Wilberforce way and also from Lauriston Road itself. The low rise design is a welcome element and makes a change from the latter day temptation to build bigger and bulkier when a dilapidated building is replaced. Both types and sizes of trees specified for the courtyards will be well suited for the scale of the building.

-The proposed building would not overlook other properties which is a welcome feature and privacy would be maintained, not only for the new occupants but for the surrounding neighbours.

-The proposed boundary walls are in keeping with those of other properties in the northern end of Lauriston Road.

-Wilberforce Way directly adjacent to the property will be immeasurably improved and become a more pleasing amenity for all adjacent residents.

-Currently the very tall and densely sited forest conifers along the boundary in Wilberforce Way shield light from the properties at 30 and 32 Lauriston Road. There is no environmental case for keeping these forest trees particularly as they will be replaced by more attractive and appropriately sized trees. Those who oppose the removal of the trees are not be ones suffering from light deprivation from them nor do they live adjacent to them.

-there is no point in replacing the tall trees with further 5 metres trees as it will still deprive light to neighbours.

5.4 Council's Tree Officer (Original comments)

-Proposed to clear the site of all existing trees, and to provide new trees as part of the landscaping to the new development. The proposed removal includes a large mature Sycamore and Lime tree. There is a row of 8 no. Monterey Cypress trees lining the road to Wilberforce Way. The remaining trees are relatively small and insignificant specimens;

-The Sycamore tree has been given a 'C' category rating and is described as having been subjected to poor management techniques; having defects within its form; having minor root girdling; severe aphid infestation; and sooty bark disease. The tree is a visually dominant specimen which this officer considers should have a 'B' category rating. The reported aphid infestation is a common

feature amongst urban trees, particularly Lime trees, and is not a reason to remove a tree. The reported claim of 'Sooty Bark Disease' is actually the remnants of an accumulation of dirt behind a former lattice fence that was resting on the trunk of the tree. This tree should be retained, however this would require a significant redesign of the submitted scheme;

-The row of Monterey Cypress trees do create an unpleasant, oppressive feel to this area of Wilberforce Way, and judging from the objections received thus far, are proving to be unpopular amongst the local residents. I would support their removal as part of this development;

-The Lime tree has been given a 'C' category rating and is described as being close to the boundary fence; as having been crown reduced with prolific re-growth; likelihood of need for regular pruning; and there have been soil level changes around the tree with pruning wound cavities and possible root severance. This tree is a large mature specimen which merits a 'B' category rating. None of the defects justify downgrading this tree to a lower category, particularly since its lifespan expectancy is estimated to be between 15 – 20 years. The tree could be retained within the proposed scheme and this would not require any amendments;

-The landscaping: The proposed mix of tree species is ambitious for such small areas. The proposed species of trees include Birch, Hornbeam, Pine and Oak. Most of these are unlikely to be retained in the future as they will outgrow the given space. The Tree Officer, therefore, advises that either the scheme is amended to retain the Sycamore tree and Lime tree, or that consideration is given to a refusal of planning consent.

#### 5.5 Thames Water

Thames Water have been consulted and raise no objections to the proposed development subject to conditions being imposed on any grant of planning permission in respect of surface water drainage.

#### 5.6 Conservation Officer

No objection to the proposal.

#### 5.7 Amended Plans

Following discussions with officers, the flank walls of the proposed building adjacent to the boundary with 20 Lauriston Road, has been set back from the boundary (at first floor level by 1 m) to reduce the visual impact of the flank wall upon 20 Lauriston Road. The elevation treatment to the Wilberforce Way frontage as also be amended. A re-consultation has been undertaken and a further three letters of objection have been received. The grounds of objection are set out below: -

##### 10 Wilberforce Way

-It is noted that a small amendment has been made to the design of the proposed dwelling. A substitution of a small section of 2 metre brick boundary wall fronting Wilberforce Wat in front of the 6 metres tall pavilion, with metal or wood railings to allow some greenery to break up the 34 metre run of brickwork. However, the two pavilions remain hard up against the pavement rising to 4 metres in height and the design still looks cold and drab and is not suitable for a Conservation Area.

- The two 'pavilions' should be set back from the pavement by 1 metre and more railings provided to break up the design.
- No attempt has been made to replace or even retain some of the 16 trees which would be removed as part of the development.
- At least two of the trees on the Wilberforce way frontage are worthy of retention and the building should be adapted to leave them in situ.

#### 4 Wilberforce Way

- The revisions have made some attempt to address original concerns regarding the length of the brick wall fronting Wilberforce Way. Unfortunately, the revisions provide for the replacement of only one section of brickwork; the bulk of it, including the 4-metre-high side walls of the two pavilions of the property would remain. The overall look therefore still remains very urban.
- Two parking spaces are still proposed with access from Wilberforce Way rather than Lauriston Road.

#### 17 Lauriston Road

- None of the changes materially change objections to the scheme. There is still no visible planting from Lauriston Road apart from through a small gateway, so the severe effect of the continuous brickwork, flat roofs and no external windows is just the same. The development is out of keeping with the nature of neighbouring houses in Wilberforce Way.

#### 5.8 Council's Tree Officer (Amended comments)

Following careful consideration, the loss of the Sycamore tree can be accepted and the Lime Tree is to be retained, and has been agreed to be subject of a Tree Preservation Order.

### 6. **POLICY CONTEXT**

#### 6.1 Adopted Merton Core Strategy (July 2011)

CS8 (Housing Choice), CS9 (Housing Provision), CS14 (Design), CS15 (Climate Change), CS16 (Flood Risk Management), CS20 (Parking, Servicing and Delivery).

#### 6.2 Sites and Policies Plan (July 2014)

DM H4 (Demolition and Redevelopment of a Single Dwelling house), DM H2 (Housing Mix), DM D2 (Design Considerations in all Developments), DM D4 (Managing Heritage Assets), DM F1 (Support for Flood Risk Management), DM F2 (Sustainable Urban Drainage Systems (SUDS)) and DM T3 (Car Parking and Servicing Standards),

#### 6.3 The London Plan (2016)

The relevant policies within the London Plan are 3.3 (Increasing London's Housing Supply), 3.4 (Optimising Sites Potential), 3.5 (Quality and Design of Housing), 3.8 (Housing Choice), 5.2 (Minimising Carbon Dioxide Emissions), 5.3 (Sustainable Design and Construction), 6.13 (Parking), 7.4 (Local Character), 7.6 (Architecture) and 7.8 (Heritage Assets).

6.4 NPPF (2019)

## 7. PLANNING CONSIDERATIONS

7.1 The main planning considerations are Design/Conservation Issues, Neighbour Amenity, Standard of Residential Accommodation, Trees, Parking and Sustainability issues.

### 7.2 Design/Conservation Issues

7.2.1 The National Planning Policy Framework (NPPF) states that planning should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings. The regional planning policy advice in relation to design is found in the London Plan (2016), in Policy 7.4 - Local Character and 7.6 - Architecture. These policies state that Local Authorities should seek to ensure that developments promote high quality inclusive design, enhance the public realm, and seek to ensure that development promotes world class architecture and design.

7.2.2 Policy DM D2 seek to ensure a high quality of design in all development, which relates positively and appropriately to the siting, rhythm, scale, density, proportions, height, materials and massing of surrounding buildings and existing street patterns, historic context, urban layout and landscape features of the surrounding area. Local Development Framework Policy CS14 supports these SPP Policies. Policy DM D4 seeks to protect heritage assets in the Borough. The heritage assets in this case are the Conservation Area and the Grade II Listed Buildings (opposite the site).

7.2.3 *The site lies within Sub-Area 11 within the Conservation Area appraisal in which its character is described as: one of the classic approach roads to the Common. It is the best local showcase for the neo-Dutch and "Queen Anne" styles of architecture widely practised around the 1880s and thereafter – Dutch gables, flat arches and similar William & Mary features, and with such an embarrasse de richesse the Society found it difficult to decide which houses to recommend for listing. Three of the houses, Nos. 9, 15 and 17, are Grade II Listed Buildings.*

7.2.4 The application property is described as having a neutral impact on the Conservation Area, dating from the 1930s. The existing dwelling house is in a poor state of repair and is of no particular architectural merit. Whilst it has traditional features, such as clay tile hipped roof and tile nagging, it is not considered to make a positive contribution to the setting of the Conservation Area. There are no objections in principle to the demolition of the existing dwelling house and the redevelopment of the site with a new replacement dwelling house, subject to the replacement being of suitable design and scale to the Conservation Area and visual amenities of the area. Although a contemporary design has been adopted for the proposed house, the building would be single storey (with a basement) and would be sited behind brick boundary walls. The adjoining neighbouring dwelling to the east and dwellings opposite on Lauriston Road comprises large two and half storey detached

traditional dwellings, which have a positive imposing effect on the character of the road. The proposed dwelling would have external facing brick elevations, but be of a contemporary design approach with various heights of the single storey pavilions. The road comprises a variety of types of dwellings and types of front boundary treatment. Owing to its single storey height, and its set back position from the road front, officers are satisfied that the proposal would more so add to the residential character of the road, rather than cause a visually harmful impact on the character of the road.

7.2.5 Numbers 15 and 17 opposite the site are Grade II Listed Buildings. Although the proposed dwelling would take a more contemporary approach to its design, by reason of its low height officers are satisfied that it would not seek to compete with these listed buildings in the road and nor would it cause a harmful impact on the setting of these listed buildings. Their setting is more derived from the properties on that side of the road and the striking features of on the front elevations of these buildings.

7.2.6 The solar panels would be installed throughout all the flat roof of the building, but would be concealed behind the parapet walls of the roof. Officers are therefore satisfied that the solar panels would not be visually intrusive to the local area. A condition is recommended seeking to secure final details of the solar panels.

7.2.6 Overall, officers are satisfied that the proposal would not cause a harmful impact on the Conservation Area or the setting of the Grade II Listed Buildings, and is compliant with Policies DM D2 and DM D4 in this regard.

### 7.3 Neighbour Amenity

7.3.1 Policy DM D2 seeks to ensure that development does not adversely impact on the amenity of nearby residential properties.

7.3.2 The proposed new house would be set behind boundary walls which would partially screen the building from neighbouring residential properties. Windows within the proposed house would face onto courtyard gardens and as the proposed building is single storey, there would be no overlooking and/or loss of privacy to neighbouring residential properties. The proposal was amended to set back the higher single storey section of wall on the eastern side, moving it further away from the shared boundary with number 20. The dwelling at number 20 is set far back from the shared boundary. Whilst some parts of the dwelling would be visible from this neighbouring plot, due to its very limited height, it would not cause any material harm. The property to the north has a front driveway which lies adjacent to the site boundary. The proposed dwelling would be stepped away from this northern boundary. To the west and south are roads which are sited in between the site and neighbouring residential properties. The proposal is therefore considered to be acceptable in terms of policy DM D2 (Design Considerations in all Developments).

### 7.4 Standard of Residential Accommodation

7.4.1 The internal layout of the proposed house is considered to be acceptable and the rooms sizes exceed the minimum requirements as set out in the London Plan. Amenity space for the proposed dwelling house would comprise four landscaped courtyard gardens. Overall, the proposal would provide a high standard of accommodation for future occupiers.

## 7.5 Trees

7.5.1 The applicant has submitted an Arboricultural Impact Assessment as part of the application and LBM Tree Officer have assessed the application. A number of trees would be removed to accommodate the proposal. A line of Cypress trees would be removed adjacent to Wilberforce Way. These are described as oppressive by the Tree Officer and no objections are raised with regards to their removal. Originally proposed was the removal of a Lime Tree and Sycamore Tree. Following further discussions with the Tree Officer, the applicant has amended the proposal so that the Lime tree can be retained, but still remove the Sycamore tree.

7.5.2 The Council's Tree Officer has outlined that the Lime Tree will become protected by Tree Preservation Order and that the Sycamore tree can be removed. Several new trees are proposed to be planted as part of the wider landscaping scheme for the whole site. Whilst these would be small in scale at first, they would grow and make a good contribution to the character of the site and general amenity of the surrounding area. For example, 6 trees are proposed to be planted in the front courtyard garden area. Officers note the concerns raised by the Tree Officer with the potential species of trees at the front, however, these can be finalised via planning condition. Given the loss of the existing trees proposed, officers consider it necessary to ensure that the new planted trees are protected via condition for at least 10 years, and not the standard 5 years. This is to ensure that good soft landscaping is maintained and adhered to and allowed to mature.

7.5.3 Overall, officers raise no objection to the landscaping works, subject to a number of conditions regarding a landscaping scheme (including tree planting), tree protection and site supervision.

## 7.6 Parking

7.6.1 The proposal would provide two off-street parking spaces accessed from Wilberforce Way. Although the proposed access would result in vehicles reversing out to Wilberforce Way, this road is a quiet residential road which serves a handful of properties. The access and parking provision are considered to be acceptable for a single dwelling house and the proposal accords with policy CS20 (Parking).

## 7.7 Sustainability Issues

7.7.1 The proposal involves the demolition and redevelopment of a single dwelling house and Policy DM H4 (Demolition and Redevelopment of a Single

Dwelling house) is relevant in this instance. In order to address the requirements of policies CS15 and DM H4, the proposed house has been designed along the pasivhaus principles with additional focus on sustainable construction materials. The building fabric will be specified to produce a highly efficient thermal envelope with high performance glazing, high level of air tightness and the use of a mechanical ventilation and heat recovery (MVHR) system combined with low energy lighting, with natural light maximised through large glazed openings facing landscaped courtyards. It is also proposed to use Photovoltaic (PV) panels on the flat roofs with battery storage to store surplus energy in-house over the short term to automatically come into use when required. The above measures are considered to satisfy the requirements of policies CS15 and DM H4. An appropriate condition is recommended in order to capture the sustainability requirements.

## **8. ENVIRONMENTAL IMPACT ASSESSMENT REQUIREMENTS**

8.1 The proposal does not constitute Schedule 1 or Schedule 2 development. Accordingly, there is no requirement for an EIA submission.

## **9. CONCLUSION**

9.1 There are no objections to the demolition of the existing dwelling house and the redevelopment of the site by the erection of a new dwelling. The design of the proposed replacement dwelling house is considered to be acceptable and the proposal would not harm neighbour amenity. The proposal would also preserve the character and appearance of the Merton (Wimbledon West) Conservation Area and would not cause a harmful impact on the setting of the listed buildings. Accordingly, it is recommended that planning permission be granted.

## **RECOMMENDATION**

### **GRANT PLANNING PERMISSION**

Subject to the following conditions: -

1. A.1 (Commencement of Development)
2. A.7 (Approved Drawings)
3. B.1 (Approval of Facing Materials)
4. B.4 (Details of Site Surfacing)
6. C.2 (No Permitted Development - Windows and Doors)
7. C.8 (No Use of Flat Roof)



8. F.5 (Tree Protection)
9. F.8 (Site Supervision-Trees)
10. H.6 (Provision of Cycle Parking)
11. H.9 (Site Working and hours/days of construction)
12. No development approved by this permission shall be commenced until a scheme for the provision of groundwater and surface water drainage has been submitted to and approved in writing by the local planning authority. The drainage scheme shall dispose of water by means of a sustainable drainage system (SuDs) to ground, watercourse or sewer in accordance with the drainage hierarchy contained in the London Plan (Policies 5.12 and 5.13) and the advice contained within the National SuDs Standards.

Reason: To ensure satisfactory means of surface water drainage, to reduce the risk of flooding and to comply with the following Development Plan policies for Merton: policy 5.13 of the London Plan 2011, policy CS16 of Merton's Core Planning Strategy 2011 and policy DM F2 of Merton's Sites and Polices Plan 2014.

13. No development approved by this permission shall be commenced until a detailed basement construction method statement has been submitted produced by the contractor and reviewed/agreed by a chartered structural engineer. Construction working drawings including sequence of construction and temporary support drawings shall be submitted.

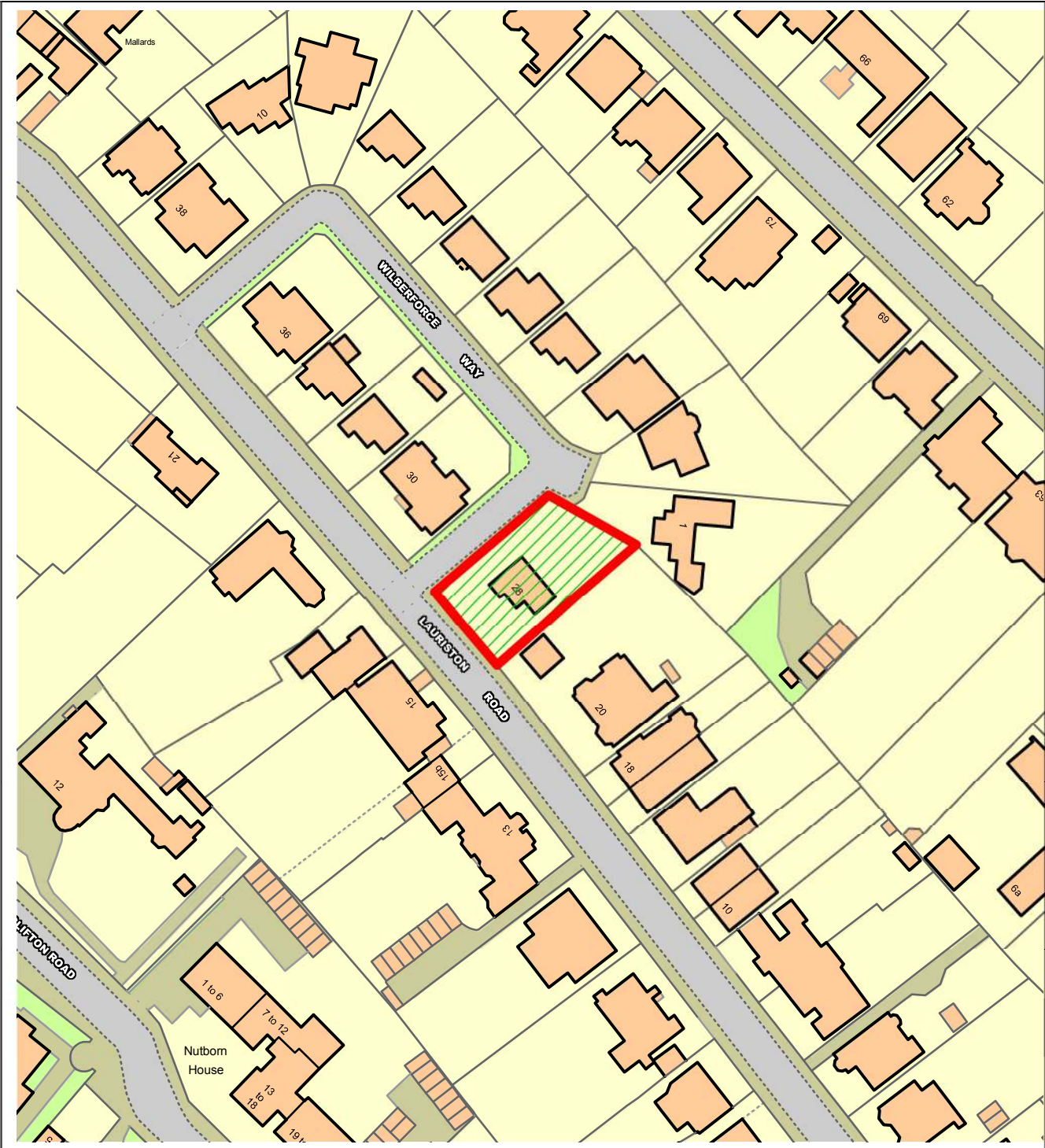
Reason: To ensure that structural stability of adjoining houses is safeguarded and neighbour amenity is not harmed and to comply with policy DM D2 of Merton's Sites and Polices Plan 2014.

14. No development shall take place until full details of a landscaping and planting scheme (to include tree planting) has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved before the commencement of the use or the occupation of any building hereby approved, unless otherwise agreed in writing by the Local Planning Authority. The details shall include on a plan, full details of the size, species, spacing, quantities and location of proposed plants, together with any hard surfacing, means of enclosure, and indications of all existing trees, hedges and any other features to be retained, and measures for their protection during the course of development.
15. All hard and soft landscape works shall be carried out in accordance with the approved details as agreed under Condition 14. The works shall be carried out in the first available planting season following the completion of the development or prior to the occupation of any part of the development, whichever is the sooner, and any trees which die within a period of 10 years from the completion of the development, are removed or become seriously

damaged or diseased or are dying, shall be replaced in the next planting season with others of same approved specification, unless the Local Planning Authority gives written consent to any variation. All hard surfacing and means of enclosure shall be completed before the development is first occupied.

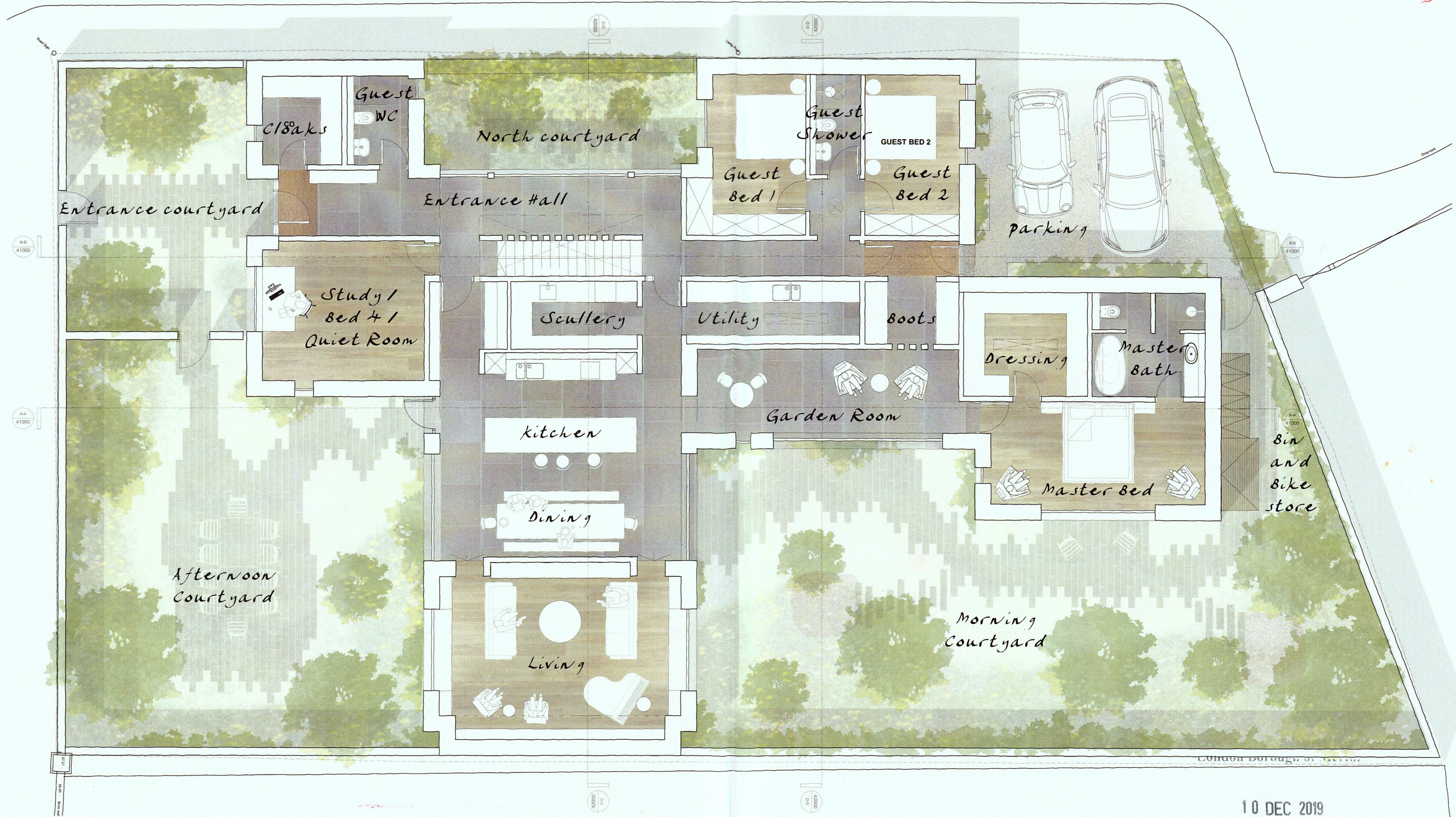
16. No part of the development hereby approved shall be occupied until evidence has been submitted to, and approved in writing by, the Local Planning Authority confirming that the development has achieved CO2 reductions of not less than a 19% improvement on Part L regulations 2013, and internal water consumption rates of no greater than 105 litres per person per day.
17. Details to be submitted of Solar Panels.
18. **INFORMATIVE**  
The applicant is advised to check the requirements of the Party Wall Act 1996 relating to work on an existing wall shared with another property, building on the boundary with a neighbouring property, or excavating near a neighbouring building. Further information is available at the following link:  
<http://www.planningportal.gov.uk/buildingregulations/buildingpolicyandlegislation/currentlegislation/partywallact>

# NORTHGATE SE GIS Print Template

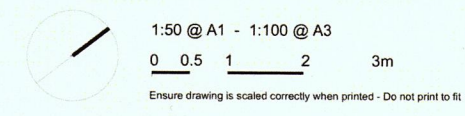


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**AMENDED**



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REV P1   22.08.19   Planning REV P2   07.11.19   Planning Amendment		SCALE ISSUED AT 1:50 @ A1 1:100 @ A3		DATE May 2019		
REV   DATE   DESCRIPTION		DRAWING NO. 219.07.21000.PL		REVISION P2		10 DEC 2019 Proposed Ground Floor - Amended 10.12.19





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AMENDED

1:50 @ A1 - 1:100 @ A3  
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REV P1 | 22.08.19 | Planning  
 REV P2 | 07.11.19 | Planning Amendment

REV	DATE	DESCRIPTION

**PROJECT DETAILS**

28 Lauriston Road  
 Wimbledon  
 London  
 SW19 4TQ

**DRAWING DETAILS**

Roof Plan  
 PRELIMINARY

SCALE ISSUED AT 1:50 @ A1 1:100 @ A3	DATE May 2019
DRAWING NO. 219.07.24000.PL	REVISION P2

10 DEC 2019

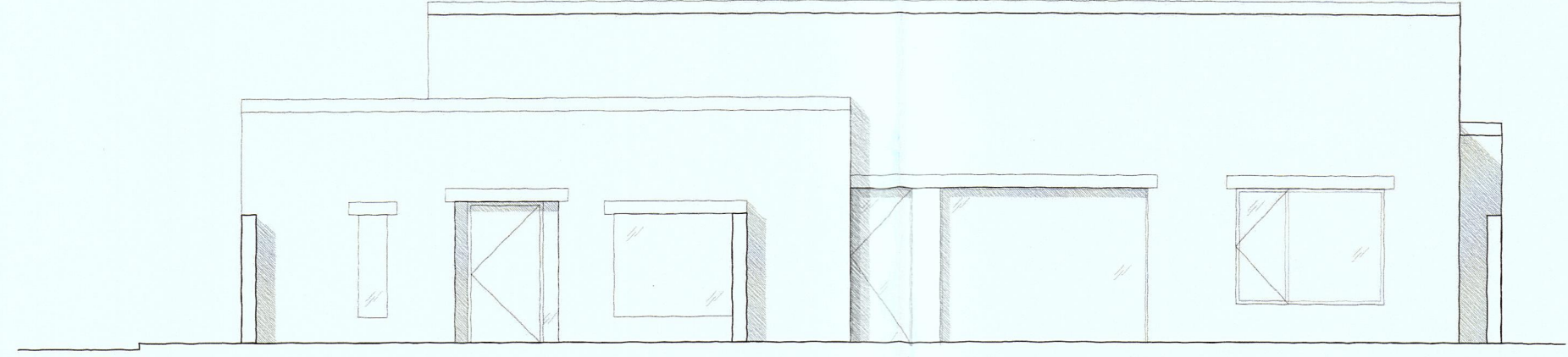
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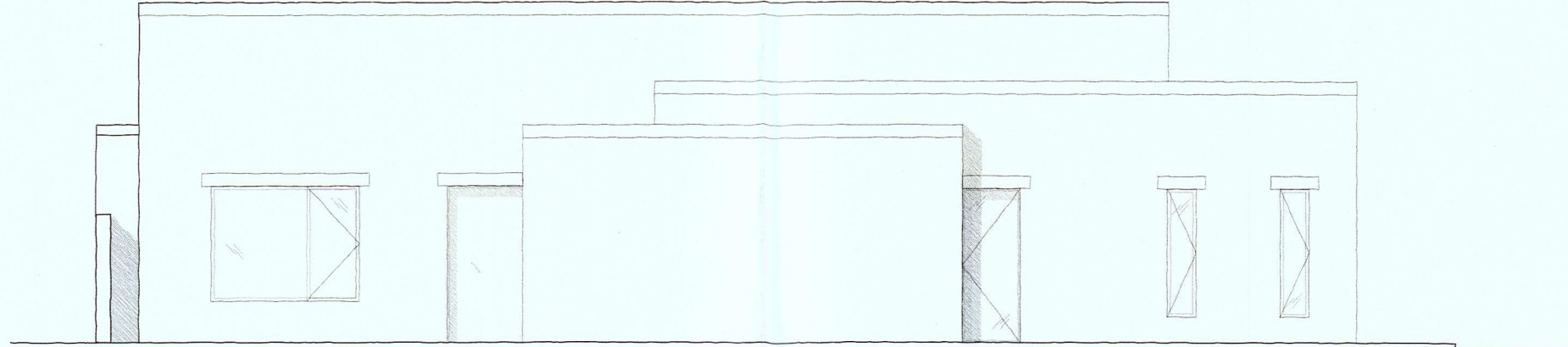
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Proposed Roof Plan - Amended 10.12.19

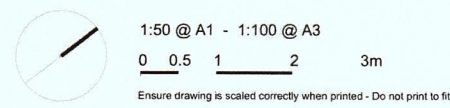




WEST ELEVATION



EAST ELEVATION



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KEY PLAN



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REV P1 | 22.08.19 | Planning  
REV P2 | 07.11.19 | Planning Amendment

REV	DATE	DESCRIPTION

**PROJECT DETAILS**  
28 Lauriston Road  
Wimbledon  
London  
SW19 4TQ

**DRAWING DETAILS**  
Building Elevations  
East and West - PRELIMINARY

SCALE ISSUED AT 1:50 @ A1 1:100 @ A3	DATE May 2019
DRAWING NO. 219.07.32000.EL	REVISION P2

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10 DEC 2019

*Proposed Amendment Revoked - Amended 10-12-19*





**NORTH ELEVATION**

Page 133



**SOUTH ELEVATION**

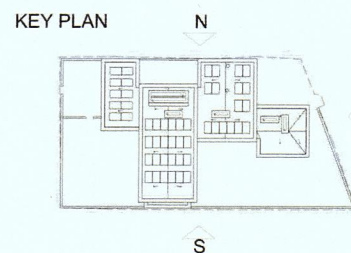
**AMENDED**

London Borough of Merton

10 DEC 2019

Planning Department

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REV P1 | 22.08.19 | Planning  
 REV P2 | 07.11.19 | Planning Amendment

REV	DATE	DESCRIPTION

**PROJECT DETAILS**

28 Lauriston Road  
 Wimbledon  
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 SW19 4TQ

**DRAWING DETAILS**

Building Elevations  
 North and South - PRELIMINARY

SCALE ISSUED AT 1:50 @ A1 1:100 @ A3	DATE May 2019
DRAWING NO. 219.07.31000.EL	REVISION P2

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*Proposed Building Elevations - Amended 10-12-19*



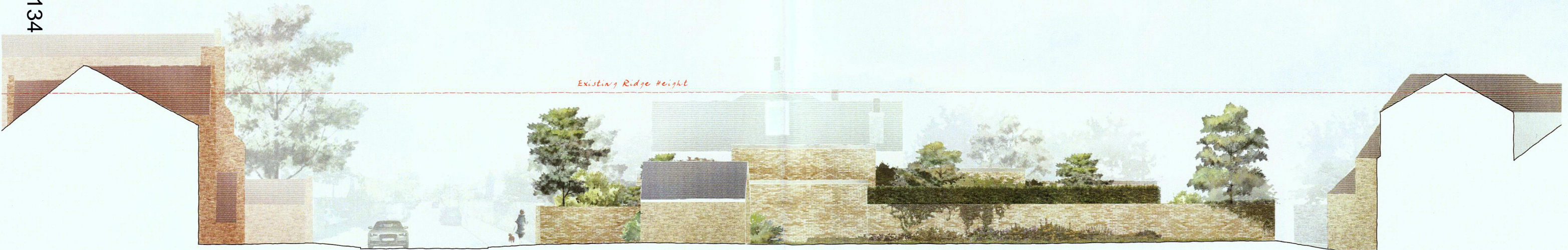


**ELEVATION FROM WILBERFORCE WAY AND NO. 30. LAURISTON ROAD**

Wilberforce Way

Lauriston Road

Page 134



**ELEVATION FROM NO. 20 LAURISTON ROAD**

Lauriston Road

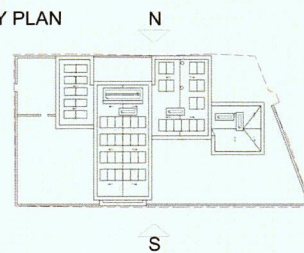
Garden of No 20 Lauriston Road

London Borough of Merton

10 DEC 2019

**AMENDED**

KEY PLAN



1:100 @ A1 - 1:200 @ A3

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REV P1 | 22.08.19 | Planning  
REV P2 | 07.11.19 | Planning Amendment

REV	DATE	DESCRIPTION

**PROJECT DETAILS**

28 Lauriston Road  
Wimbledon  
London  
SW19 4TQ

**DRAWING DETAILS**

Street Elevations  
North & South - PRELIMINARY

SCALE  
**ISSUED AT 1:100 @ A1**  
1:200 @ A3

DATE  
May 2019

DRAWING NO.  
219.07.34000.EL

REVISION  
**P2**

Planning Development Co.

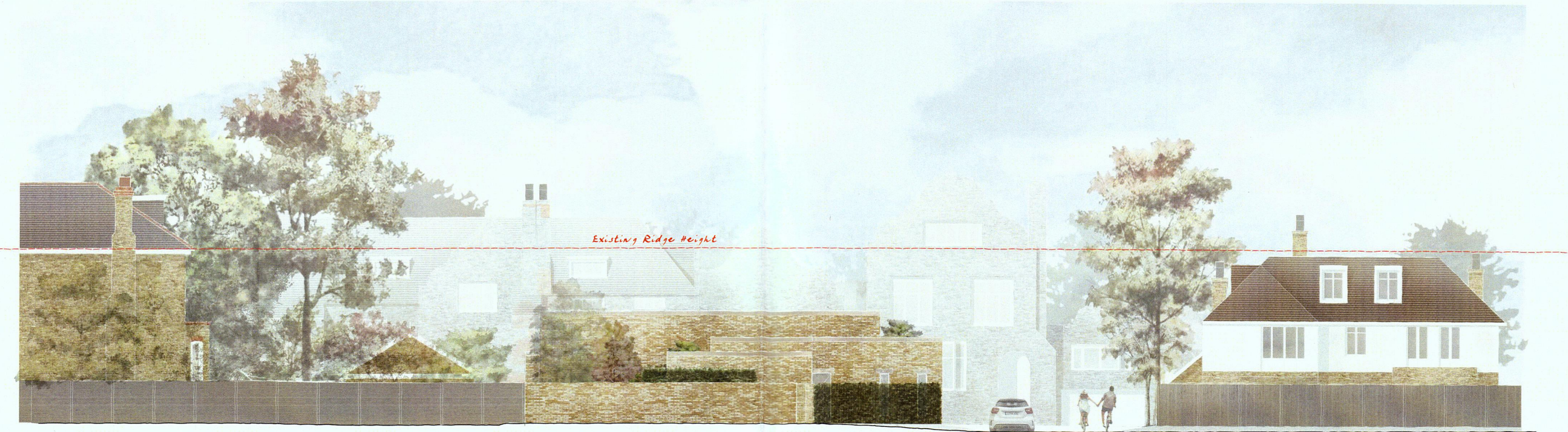
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*Proposed Street Elevations 01 - Amended 10.12.19*





ELEVATION FROM NO 1 WILBERFORCE WAY

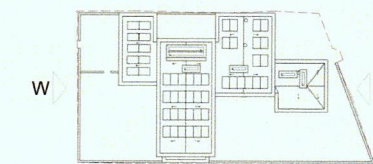


ELEVATION FROM LAURISTON ROAD

**AMENDED**

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KEY PLAN



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REV P1 | 22.08.19 | Planning  
REV P2 | 07.11.19 | Planning Amendment

REV	DATE	DESCRIPTION

**PROJECT DETAILS**  
28 Lauriston Road  
Wimbledon  
London  
SW19 4TQ

**DRAWING DETAILS**  
Street Elevations  
East +West - PRELIMINARY

SCALE	DATE
ISSUED AT 1:100 @ A1 1:200 @ A3	May 2019
DRAWING NO.	REVISION
219.07.33000.EL	P2

Planning Department of

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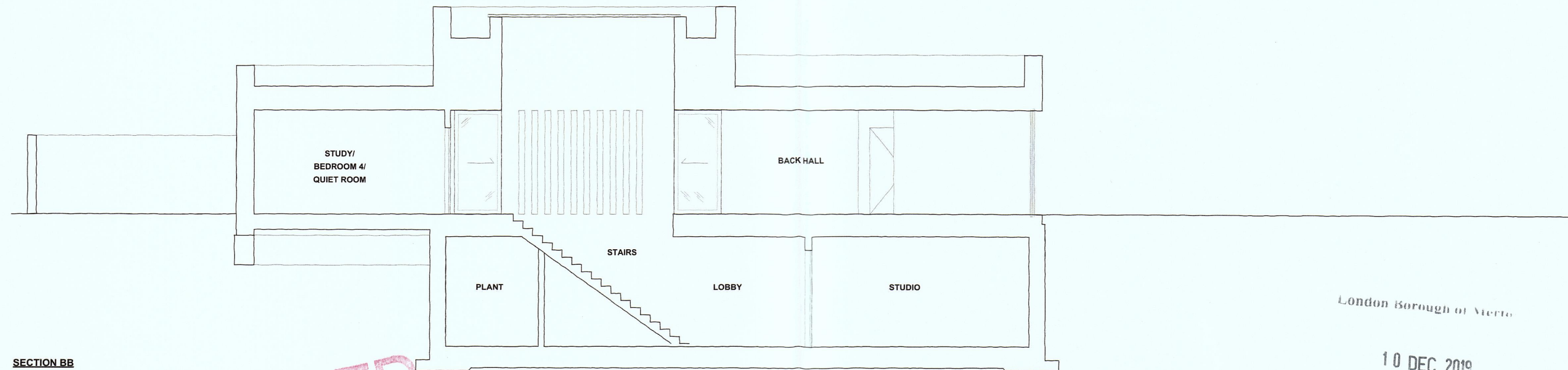
10 DEC 2019

Proposed Street Elevations CR - Amended  
10-12-19





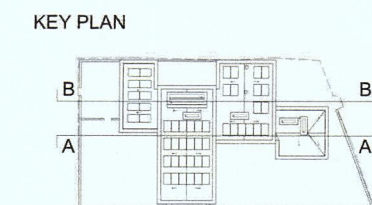
SECTION AA



SECTION BB

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REV P1 | 22.08.19 | Planning  
 REV P2 | 07.11.19 | Planning Amendment

REV	DATE	DESCRIPTION

PROJECT DETAILS

28 Lauriston Road  
 Wimbledon  
 London  
 SW19 4TQ

DRAWING DETAILS

Building Sections  
 AA-BB - PRELIMINARY

SCALE	DATE
ISSUED AT 1:50 @ A1 1:100 @ A3	May 2019
DRAWING NO.	REVISION
219.07.41000.SEC	P2

London Borough of Merton

10 DEC 2019

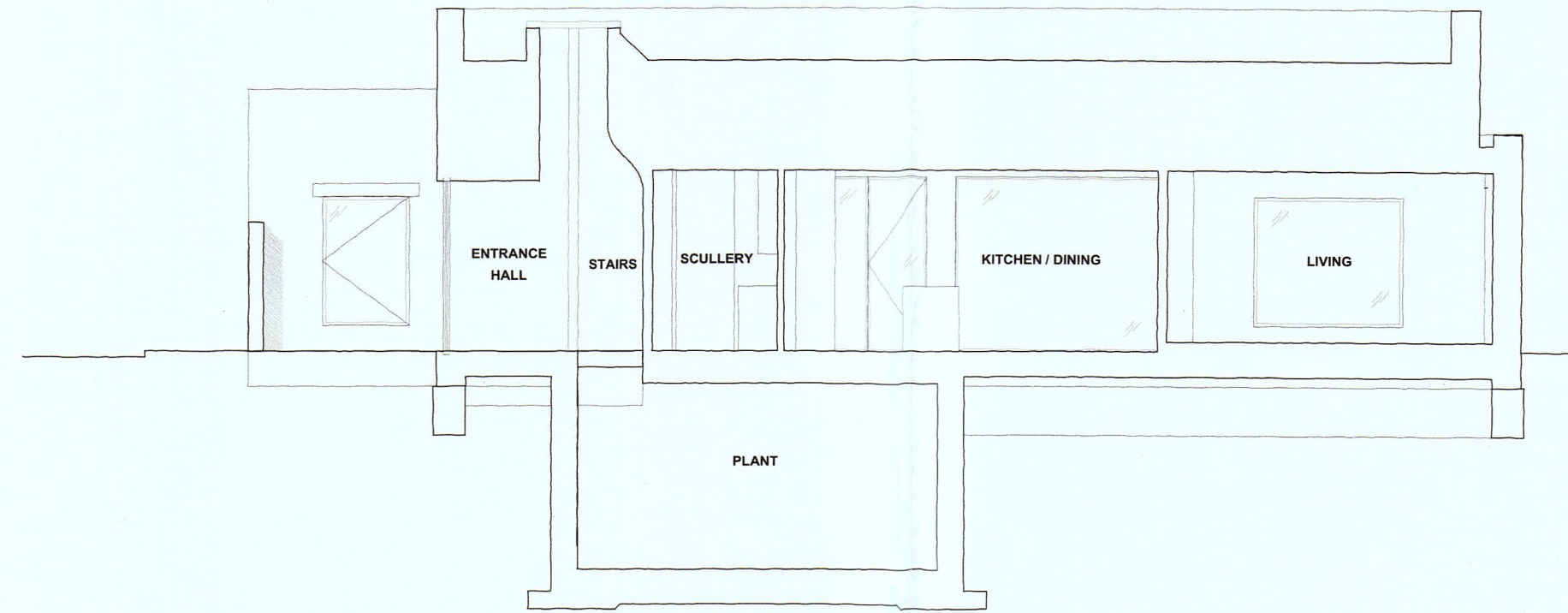
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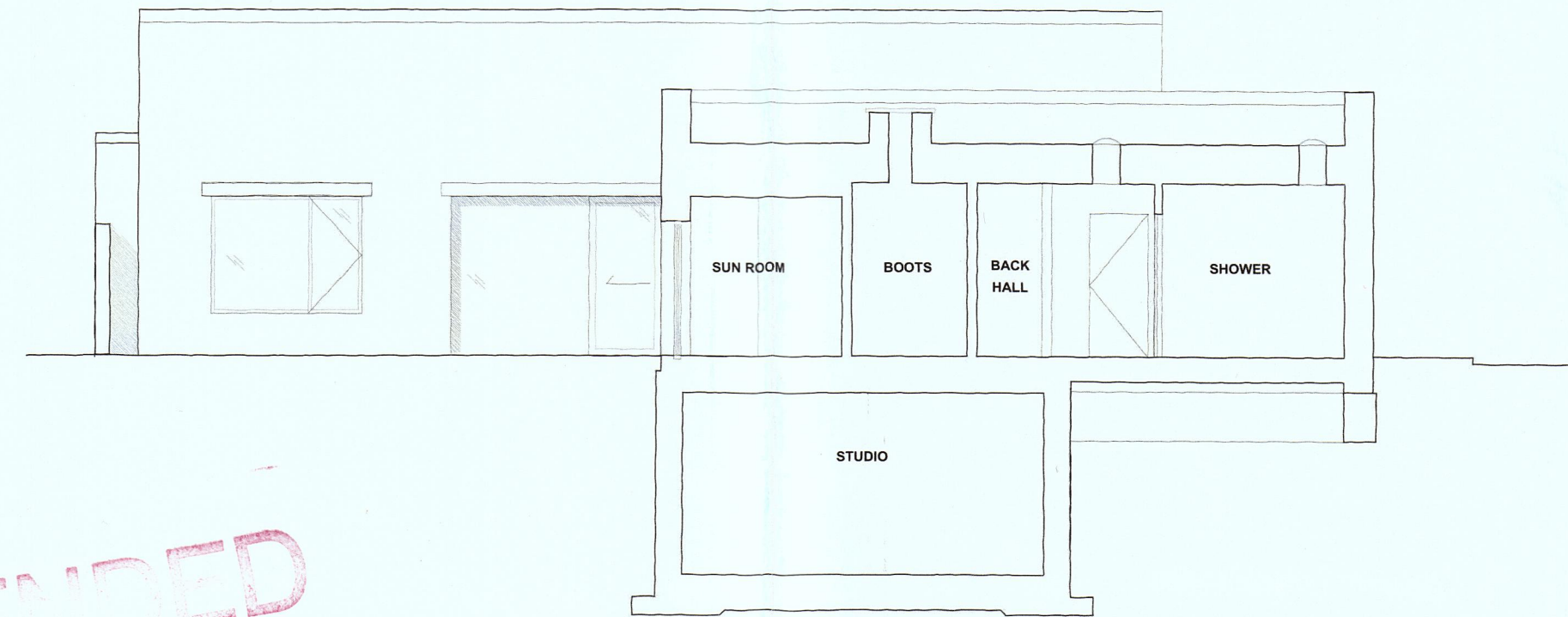
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Proposed Building Sections - Amended 10.12.19





SECTION CC

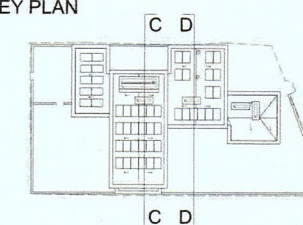


SECTION DD

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REV	DATE	DESCRIPTION
REV P1	22.08.19	Planning
REV P2	07.11.19	Planning Amendment

**PROJECT DETAILS**  
 28 Lauriston Road  
 Wimbledon  
 London  
 SW19 4TQ

**DRAWING DETAILS**  
 Building Sections  
 CC-DD - PRELIMINARY

SCALE	DATE
ISSUED AT 1:50 @ A1 1:100 @ A3	May 2019
DRAWING NO.	REVISION
219.07.42000.SEC	P2

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London Borough of Merton  
 10 DEC 2019  
 Planning Department

Proposed Sections 02 - Amended - 10.12.19



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## PLANNING APPLICATIONS COMMITTEE – 14<sup>th</sup> MAY 2020

**APPLICATION NO.**

19/P2287

**DATE VALID**

02/07/2019

**Address/Site:** 87 Robinson Road,  
Tooting, SW17 9DN

**Ward:** Colliers Wood

**Proposal:** Demolition of existing building and outbuilding and erection of a two storey building plus lower ground floor level, to contain 8 x self-contained flats with off street parking spaces, cycle storage and refuse storage

**Drawing No.'s:** Site Location and Block Plan; SK/01; SK/02; SK/03 RevA; SK/04; SK/05-Refuse Storage and Holding Area; SK/05-Proposed Front Elevation; SK/06; SK/09; SK/10; SK/08; KP Acoustics report 18329.NVA.01 dated 20th November 2018; Flood Risk Assessment Rev 2 by ECO studio XV & Geotechnical Survey Report 1354; Preliminary Ecological Appraisal Survey Rev 4; Arboricultural Report by dpa Consultants dated June 2019.

**Contact Officer:** Jourdan Alexander (020 8545 3122)

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**RECOMMENDATION**

**Grant planning permission subject to conditions and a unilateral undertaking to restrict eligibility to parking permits.**

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**CHECKLIST INFORMATION**

- S106: Yes (restriction of parking within CPZ)
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: No
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 16
- External consultations: 2
- Conservation area: No
- Listed building: No
- Archaeological priority zone: No
- Tree protection orders: No



- Controlled Parking Zone: Yes
- Flood Zone: Yes, the northern corner of the site is Flood Zone 2, comprising approximately 5% of the total site area
- Designated Open Space: No

## **1. INTRODUCTION**

- 1.1 This application is being brought to the Planning Applications Committee for determination due to the objections received.

## **2. SITE AND SURROUNDINGS**

- 2.1 The subject site is located to the rear of numbers 83-91a on the northern side of Robinson Road. The site is accessed via a 30m long driveway from Robinson Road. The existing property on the site comprises a two-storey family house with a single storey garage located toward the eastern boundary. The house features a combined kitchen and dining area to the front with a reception and conservatory to the rear and one bedroom. On the first floor there are four bedrooms of which one has an ensuite and two bathrooms. At loft level there is an additional bedroom.

- 2.2 The existing house has the following dimensions:
- 14.6m wide, an eaves height of 6.1m and a maximum height of 9m (western elevation).
  - 14.6m wide, an eaves height of 6.6m and a maximum height of 9m (eastern elevation).

- 2.3 The surrounding buildings to the south, Nos. 83-91A, are two storey dwellings that abut Robinson Road. The rear of these properties are setback at least 11m from the property boundary with 87 Robinson Road.

- 2.4 No. 93 Robinson Road is adjacent to the eastern property boundary of the application site. The application site abuts the rear portion of the property, which is currently undeveloped rear garden. The railway and River Graveney are to the rear of the site.

- 2.5 There are a number of unprotected trees along part of the boundary with 81 Robinson Road, 89-93 Robinson Road along with a mature tree located just within the site boundary beyond the far corner of the garden of 89 Robinson Road.

## **3. CURRENT PROPOSAL**

- 3.1 This application seeks planning permission for the demolition of the existing two-storey house and the erection of a two-storey building with lower ground floor level, to comprise 8 flats. The flats and their individual sizes are detailed in the table below:

Unit	No. of beds	No. of persons	No. of storey's	Proposed GIA
1	1	2	1	50.6m <sup>2</sup>
2	2	3	2 (ground and lower ground)	126m <sup>2</sup>
3	3	5	2 (ground and lower ground)	89.2 m <sup>2</sup>
4	3	5	2 (ground and lower ground)	126m <sup>2</sup>
5	1	2	1	50.6m <sup>2</sup>
6	2	4	1	84.7m <sup>2</sup>
7	2	4	1	80.0m <sup>2</sup>
8	2	4	1	84.7m <sup>2</sup>

3.2 The proposal would also include:

- 3 parking spaces, one of these spaces would be for disabled parking.
- Access driveway for vehicles and pedestrians.
- Refuse storage area which would house 5 x 660L bins (1 for food waste, 2 for refuse and 2 for recycling) and a bulk bin area. The refuse bins would be moved closer to the vehicle entrance on collection day.
- Cycle storage facility.

3.3 The proposed building would have the following dimensions: 14.6m deep, 24m wide, eaves height of 6m from natural ground level, lower ground floor height of 3m. Officers note the appealed scheme was 7.9m high from natural ground level

3.4 The proposed building would be located approximately:

- 1.4m from the shared eastern (side) boundary, reducing to 1m towards the rear of the site;
- 1.4m from the shared western (side) boundary, increasing to 1.8m towards the rear of the site;
- A minimum of 10.5m from the southern (rear) boundary, in which there is a railway line immediately beyond.
- 41.4m from Robinson Road.

3.5 The front elevation of the building would have both horizontal and vertical articulation, with the building ends set with a forward protrusion and a small step-up in height. Glazing would be evenly positioned across the front elevation. The main entrance to the building would be located centrally at ground floor level, and would provide access to the lobby, main stairwell, and all flat entrance doors.

3.6 The rear elevation would include a consistent pattern of glazed and solid parts. Two external balconies would be provided for the first floor flats (no. 6 &

8) at either building ends. The central first floor flat at the rear of the building would have access to a roof terrace. Each of the split-level, ground and lower ground floor flats, would have access to their own private lower ground floor rear garden.

- 3.7 Trees along the site boundaries are shown to be retained including the mature tree close to the boundary with 89 Robinson Road.
- 3.8 The application is submitted with a unilateral undertaking to restrict on-street parking permits.
- 3.9 The principal change to the scheme from that which was dismissed on appeal is that it is now two floors above ground (ground and first) and one floor (basement) below rather than three floors (ground first and second).

#### **4. PLANNING HISTORY**

- 4.1 19/P0143 - DEMOLITION OF EXISTING BUILDING AND OUTBUILDING AND ERECTION OF A 3 STOREY BUILDING CONSISTING OF 9 X SELF CONTAINED RESIDENTIAL UNITS WITH PARKING, CYCLE STORAGE AND REFUSE STORAGE - Refused 27/06/2019. Appeal dismissed.

Reasons for refusal:

- 1. The proposed development, by reason of its siting, mass and design, would result in (a) an incongruous form of development, which is considered to be detrimental to the character and appearance of the area as a whole and (b) would appear unduly intrusive and visually overbearing when viewed from neighbouring properties including 81 Robinson Road to the detriment of the visual amenities of neighbouring occupiers. The proposals would be contrary to policy DM D2 of the Merton Sites and Policies Plan [2014] CS14 of the Merton LDF Core Planning Strategy [2011] and 7.6 of the London Plan (2016).**
- 2. In the absence of sufficient on-site parking to serve the residential units, the proposal would result in an increased demand for on street parking which would lead to increased kerbside parking, resulting in a detrimental impact on highway and pedestrian safety contrary to Policy 6.13 of the London Plan 2016, Policy DM T3 of the Sites and Policies Plan 2014 and Policy CS20 of the Core Planning Strategy 2011.**
- 3. The development does not include a waste management plan which outlines who is responsible for moving/collecting the refuse bins on collection day and is therefore not considered comply with policy 5.17 of the London Plan and policy CS 17 of the Core Strategy.**

- 4.2 03/P2670 - ERECTION OF A SINGLE STOREY CONSERVATORY TO REPLACE EXISTING - GRANTED.
- 4.3 00/P1934 - APPLICATION FOR A CERTIFICATE OF LAWFULNESS IN RESPECT OF A PROPOSED REAR ROOF EXTENSION - WITHDRAWN.



## **5. CONSULTATION**

- 5.1 Public consultation was undertaken by way of site notice and letters sent to 16 neighbouring properties. A second round of consultation was undertaken following amendments to the scheme, the outcome of the combined consultation is summarised as follows:
- 5.2 Representations were received from 4 individuals who raised the following concerns:
- Proposal is considered to be overdevelopment significantly increasing the number of people on the subject site. The proposed building would be overbearing and out of character for the area.
  - Width of existing Right of Way is too narrow, causing vehicles entering and exiting the property to block Robinson Road.
  - The limited car parking spaces onsite will cause the flats to park on the street.
  - Technical drawings of the building are inadequate.
  - Enforcement Officers are hardly seen in this area meaning parking restrictions are not enforced.
  - Japanese knotweed is prevalent in this area and needs to be considered.
  - The proposal is not essential to meet Merton's housing targets
  - The basement location along the property boundary will impact the property of No.93 Robinson Road.
  - Proposal would result in a loss of privacy of neighbouring occupants.
  - There would be adverse noise and dust effects.
  - Building hours should be restricted due to other potential development occurring in Robinson Road.
  - The driveway into the site is too narrow for emergency vehicles.
  - The proposal would be at risk from flooding
  - There is inadequate space for the bins to be stored on collection day on the driveway and for cars to pass.
  - Smell would emit from the refuse bins
- 5.3 A representation was received from the Wimbledon Swift Group, who has no objection to the development; however, they recommend that the building design incorporates habitat and nesting areas for swifts.
- 5.4 One letter of support was received by a representative of the property owner, the Clarion Housing Group for No.81 Robinson Road to state that they had no objections to the development.
- 5.5 In regards to the above representations the planning officer notes the following:
- Adverse impacts regarding construction/demolition are dealt with via conditions. The Council's Environmental Health team have further statutory powers to control noise and nuisance outside of planning legislation;
  - The letter of support for the development proposal from the owner of No.81 is noted;
  - An informative has been recommended to advise the applicant of swift population decline in the UK, and encourages that opportunities for the

installation of a swift nesting box/bricks on the site are considered during development;

- The remaining comments are discussed further within this report.

#### Internal consultees

- 5.6 LBM Climate Change Officer: raised no objection subject to pre-commencement and pre-occupation conditions.
- 5.7 LBM Environmental Policy Officer: The development is acceptable subject to the recommendations outlined in the Preliminary Ecological Appraisal Survey by Arbtech Consulting Ltd dated 24/02/2019 are adhered to.
- 5.8 LBM Transport and Highways Officers: Raise no objection subject to conditions. A limited numbers of onsite parking spaces are proposed. The subject site is located in a CPZ. A Section 106 agreement restricting the owners/occupiers of the development from accessing parking permits should be entered into between the relevant parties. A car club membership of 3 years is also recommended. The service access is considered substandard for Fire Engines and other emergency vehicles to negotiate. The applicant is advised to contact the relevant fire authority and ambulance services in order to conduct a fire and safety audit for the site. (Officers note that following similar issues being raised in respect of a recently approved backland scheme for two dwellings at Leafield Road officers have attached a suitable condition requiring fire safety measures to be prepared and for these to be reviewed in consultation with the London Fire Brigade before occupation).
- 5.9 LBM Flood Risk Management Engineer: The submitted Geotechnical Survey Report and associated Flood Risk Assessment is acceptable (subject to conditions) in accordance with policy DM F2 and London Plan policy 5.13. The scheme mitigation measures specified in the report and drawings reduce the risk of both internal flooding and reduce the risk of groundwater rising to the surrounding land.
- 5.10 LBM Environmental Health Officer: Acceptable subject to conditions and adhering to the recommendations stated in the Noise and Vibration Assessment by KP acoustics dated 20/11/2018.

#### External Consultees

- 5.11 Thames Water: No objection. Thames Water have requested that the applicant incorporate a positive pumped device to avoid backflow. The consultee also advised that if as part of the basement development there is a proposal to discharge ground water to the public network, they would require a permit from Thames Water. They also recommended other informatives to be included on any permission granted.
- 5.12 Environment Agency: No objection subject to conditions regarding procedures for encountering potential land contamination and development piling and penetrative methods of construction.

## **6. POLICY CONTEXT**

### **6.1 National Planning Policy Framework (2019)**

- 5. Delivering a sufficient supply of homes
- 9. Promoting sustainable transport
- 11. Making effective use of land
- 12. Achieving well-designed places
- 14. Meeting the challenge of climate change, flooding and coastal change

### **6.2 London Plan (2016)**

Relevant policies include:

- 3.3 Increasing housing supply
- 3.4 Optimising housing potential
- 3.5 Quality and design of housing developments
- 3.8 Housing choice
- 3.9 Mixed and balanced communities
- 5.1 Climate change mitigation
- 5.2 Minimising carbon dioxide emissions
- 5.3 Sustainable design and construction
- 5.13 Sustainable drainage
- 5.17 Waste Capacity
- 6.9 Cycling
- 6.13 Parking
- 7.4 Local character
- 7.6 Architecture
- 7.14 Improving air quality
- 7.15 Reducing and managing noise, improving and enhancing the acoustic environment and promoting appropriate soundscapes
- 7.19 Biodiversity and access to nature
- 8.2 Planning obligations
- 8.3 Community Infrastructure Levy

### **6.3 Merton Local Development Framework Core Strategy – 2011 (Core Strategy)**

Relevant policies include:

- CS 8 Housing choice
- CS 9 Housing provision
- CS 14 Design
- CS 15 Climate change
- CS 16 Flood risk management
- CS 17 Waste management
- CS 18 Active Transport
- CS 20 Parking servicing and delivery

### **6.4 Merton Sites and Policies Plan – 2014 (SPP)**

Relevant policies include:

- DM D1 Urban Design
- DM D2 Design considerations
- DM EP2 Reducing and mitigating noise
- DM EP4 Pollutants



DM F2 Sustainable urban drainage systems and; wastewater and water infrastructure  
DM H2 Housing mix  
DM H3 Support for affordable housing  
DM T1 Support for sustainable transport  
DM T2 Transport impacts of development  
DM T3 Car parking and servicing standards  
DM T4 Transport infrastructure

- 6.5 Supplementary planning considerations  
London Housing SPG – 2016  
London Character and Context SPG -2014  
DCLG - Technical Housing Standards 2015

## **7. PLANNING CONSIDERATIONS**

### **7.1 Material Considerations**

The key issues in the assessment of this planning application are:

- Principle of development
- Design and impact upon the character and appearance of the area
- Impact upon neighbouring amenity
- Standard of accommodation
- Housing mix
- Transport and parking
- Flood risk and sustainable urban drainage
- Refuse storage and collection
- Basement construction
- Cycle storage
- Sustainable design and construction
- Developer contributions

#### Principle of development

- 7.2 Policy 3.3 of the London Plan 2016 states that development plan policies should seek to identify new sources of land for residential development including intensification of housing provision through development at higher densities.
- 7.3 The site currently contains a two-storey house with a single storey garage located toward the eastern boundary. The proposed development would result in the provision of 7 additional homes, which is generally supported by Core Strategy policies CS8 & CS9 which seek to encourage proposals for well-designed and conveniently located new housing that will create socially mixed and sustainable neighbourhoods through physical regeneration and effective use of space.
- 7.4 Therefore, notwithstanding the need to carefully consider design, transport and other technical aspects of the proposal in more detail, officers consider that a more intensive residential development could be supported in principle.

Design and impact upon the character and appearance of the area

- 7.5 London Plan policies 7.4 and 7.6, Core Strategy policy CS14 and SPP Policy DMD2 require well designed proposals that will respect the appearance, materials, scale, bulk, proportions and character of the original building and their surroundings.
- 7.6 The prevailing development in the area are two storey houses with rear gardens. The location of the proposed building is setback from Robinson Road on a backland area. Public views towards the building would be limited to vantages up the driveway access from Robinson Road, and across the rear garden of No. 81 Robinson Road from Daniel Close. The building would otherwise be obscured by the surrounding two storey semi-detached houses, with the massing positioned parallel with the existing railway to the north. The proposed residential block would not be excessive in size being no more than two storeys in height above ground level (with a lower ground floor level formed). The development would therefore not appear out of scale with surrounding buildings and the area.
- 7.7 The drawings show that the external walls would be brick and would incorporate different patterns, textures and finishes. Whilst the drawings submitted provide fairly basic details of the materials and finish, including, colours, textures, and bonding to be used. It is considered that the drawings are of a suitable quality for officers to be confident that a building of high quality can be delivered, with appropriate conditions in place. Conditions have therefore been recommended which require details of materials, as well as detailed drawings of elevations, and features. Subject to these conditions the development would integrate well with surrounding area.
- 7.8 The front elevation of the building would have both horizontal and vertical articulation, with the building ends set with a forward protrusion and a small step-up in height. Windows to the building are of a size to provide a sense of openness into the site whilst breaking up the mass of the building.
- 7.9 The applicant also proposes as part of their application to landscape the site. A condition has also been recommended for a plan of landscaping to be submitted to the Council for approval in order to compensate for the loss of trees and vegetation from the works. This includes details of the green wall to be installed against the retaining wall at lower ground floor level.
- 7.10 Subject to the recommended conditions, the proposal would respond well to the character of the surrounding area, and is considered acceptable in appearance, in compliance with London Plan policies 7.4 and 7.6, Core Strategy policy CS14 and SPP Policies DMD2 and DMD3.

Impact upon neighbouring amenity

- 7.11 SPP policy DM D2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring properties in terms of loss of light, quality of living conditions, privacy, visual intrusion and noise.

- 7.12 The proposed building would be located approximately 23.3m away from the adjacent dwellings at their closest point. Regarding No.93 Robinson Road's rear garden, the proposed building would be located 1.4m from the shared eastern (side) boundary, reducing to 1m towards over the entire 12.6m depth. Regarding No.81's rear garden to the west, the proposed building would be 1.4m from the shared western (side) boundary, increasing to 1.8m towards the rear of the site.
- 7.13 There are only two windows on each flank elevation at first floor level. Each of these windows is associated with a bathroom and would be obscure glazed to prevent overlooking. While it is acknowledged that there is potential for some overlooking due to the front facing windows of the proposed building towards neighbouring rear gardens. The 23m separation between the proposed building and the rear windows of adjacent neighbouring buildings along Robinson Road would be of a sufficient distance to ensure that there would be no material loss of privacy to neighbours. Overall, the impacts on existing levels of privacy is not considered to be harmful.
- 7.14 Regarding the positioning of the building in relation to No.93, the existing dwelling on the site is located in a similar position to the proposed building. Given the siting of the building, design, and layout, it is not considered that the proposal would unduly impact the amenity to No.93.
- 7.15 Regarding No.81 to the west, the proposal would introduce built form within closer proximity to this neighbour. The property owner of No.81 has provided a letter of support for the development. The introduction of the proposed building along this shared boundary is considered to have an acceptable impact to amenity of No.81's occupants, and would not appear unduly dominant or out of place.
- 7.16 The proposal includes windows along the rear elevation, two balconies, and a central rear roof terrace. The impacts of these features to neighbour's privacy would not be harmful given the origination of views which would project outwards across the railway lines. Neighbouring buildings to the rear are also of a sufficient distance away to ensure existing levels of privacy are retained.
- 7.17 In terms of noise, the site would continue to be used for residential use. The proposed building along with external amenity areas of the flats are located a sufficient distance from neighbouring habitable rooms to ensure that any noise as a result of the increased density on the site would not be unduly harmful. Only three car parks would be provided within the site, and therefore traffic entering and existing the site would be light and would not cause a harmful level of disturbance.
- 7.18 The reduction in the height of the building in contrast to the appealed scheme is welcomed and addresses a key aspect of the previous refusal and overall it is not considered that the proposal would unduly impact the amenity of adjoining occupiers, and is consistent with SPP policy DM D2.



#### Standard of accommodation

- 7.19 Policies 3.5 and 3.8 of the London Plan 2016 state that housing developments are to be suitably accessible and should be of the highest quality internally and externally and should ensure that new development reflects the minimum internal space standards (specified as Gross Internal Areas) as set out in table 3.3 of the London Plan (amended March 2016) and the DCLG - Technical Housing Standards 2015. The London Plan Housing SPG - 2016 states that homes should provide a place of retreat; factors to be considered include privacy, the importance of dual aspect development, noise mitigation, floor to ceiling heights and daylight and sunlight. Policy DM D2 of the Adopted Sites and Policies Plan (2014) states that developments should provide for suitable levels of privacy, sunlight and daylight and quality of living conditions for future occupants.
- 7.20 All of the flats would exceed Internal Space Standards, and all habitable rooms would be served by windows, which would provide suitable natural light, ventilation and outlook to prospective occupants.
- 7.21 In accordance with the London Housing SPG, policy DMD2 of the Council's Sites and Policies Plan states that there should be 5sqm of external space provided for 1 and 2 person flats with an extra square metre provided for each additional occupant. The lower floor flats would have rear gardens which would exceed minimum standards. All remaining flats would be provided with adequately sized balconies or terraces that meet housing standards.
- 7.22 Environmental Health officers were satisfied with the development, subject to conditions in place to mitigate external noise disturbance to future occupants of the development. The applicant has provided details of the acoustic noise mitigation to be installed by way of soundproof glazing. A condition has been recommended to ensure that this noise mitigation is installed prior to occupancy, and thus protect the amenity of future occupants.
- 7.23 Overall, the proposed development would have good-sized rooms and convenient and efficient room layouts, which are functional and fit for purpose. Good outlook as well as adequate daylight / sunlight would be received into habitable rooms. A high quality standard of accommodation would therefore be provided, compliant with relevant policies and standards.

#### Transport and parking

- 7.24 Core Strategy policy CS20 requires that development would not adversely affect pedestrian or cycle movements, safety, the convenience of local residents, on street parking or traffic management.
- 7.25 The site is accessed by a narrow driveway. Three parking spaces are proposed onsite with separate pedestrian and vehicle through markings. The LBM Transport Planner has concluded that given the low number of parking spaces and consequently low vehicles movements, alongside road markings and the long and straight proportions of the accessway, would ensure good sightlines for uses. The proposed accessway was considered acceptable.

- 7.26 The applicant has proposed 3 onsite parking spaces (one of which would be a dedicated disabled parking bay). This is acceptable at the subject site given the good PTAL rating of 4. The site is located within a Controlled Parking Zone. The applicant has provided a unilateral undertaking restricting future occupiers of the flats from obtaining on-street residential parking permits. This too address an earlier reason for refusal on the appealed scheme where no legal mechanism was in place to prevent overspill parking.
- 7.27 Requirements for membership into a car club, is not considered necessary in this case, given the small number of proposed flats, the good PTAL rating, 3 onsite parking spaces, cycle storage and the restriction to on-street parking permits. Overall, future occupiers will have sufficient travel choices.

#### Flooding and Drainage

- 7.28 The applicant has submitted a flood risk assessment to support their proposal. The assessment recommends a flood and drainage strategy to be installed, alongside methods to delay and control the rate of surface water discharged from the site. The recommendations provided within the assessment are acceptable in ensuring that the development appropriately mitigates flood and drainage risk. A condition has been recommended to secure the sustainable urban drainage system detailed within the assessment.

#### Refuse Storage and Collection

- 7.29 When considering the design of waste facilities, London Plan policy 5.17 and Core Strategy Policy CS 17 requires not simply examining capacity on site. It requires consideration towards the relationship of storage both during the week and at times of collection to the proposed dwellings, relationship to the highway, and the convenience and manageability of these arrangements for future occupiers.
- 7.30 Refuse storage has been indicated on the plans, and show that a sufficient level of refuse storage would be provided on site. The refuse would be stored in a cedar wood refuse storage structure, with openable roof and sides to place rubbish bags and to remove bins on collection day.
- 7.31 The applicant has proposed moving the refuse bins near to the vehicle entrance beside the public highway on collection day. Once the bins have been placed for collection, there would be limited room for vehicles to enter/exit and site. Although this situation is not ideal, given the constraints of the site and the limited off-street parking, resulting in infrequent car moments, this methodology is considered adequate in these circumstances. As above, officers consider the applicant has reasonably sought to address the third reason for refusal on the appealed scheme and consider that it may be unreasonable to withhold permission on this ground alone.

- 7.32 To ensure the storage and collection of refuse occurs successfully and in a coordinated manner. A condition has been recommended requiring that the developer submits a Waste Management Strategy that details the arrangements for the collection and disposal/recycling of refuse and recycling generated from the occupation of the development, and that the development is not be occupied until the agreed arrangement has been installed and in operation.
- 7.33 Subject to the above condition the proposed refuse storage and collection is considered acceptable.

#### Cycle Storage

- 7.34 Cycle storage is required for new development in accordance with London Plan policy 6.9 and table 6.3 and Core Strategy policy CS 18. Table 6.3 of the London Plan (2016) requires one cycle parking space per 1b/1p unit and 2 spaces for all other dwellings. The proposal would provide 19 cycle spaces (5 more than required). The proposal is considered to be in accordance with the London Plan policy 6.9 and table 6.3 and Core Strategy policy CS 18.
- 7.35 A condition has been recommended to secure the installation of the cycle parking prior to occupation of the flats.

#### Trees and biodiversity.

- 7.36 Core Planning Strategy policy CS.13 (e) requires that any proposals for new dwellings in back gardens must be justified against the:  
Local context and character of the site;  
Biodiversity value of the site;  
Value in terms of green corridors and green islands;  
Flood risk and climate change impacts.  
In addition Sites and Policies Plan policy DM.O2 requires that development which may destroy or impair the integrity of green corridors will not be permitted and proposals in and adjacent to these corridors will be expected to enhance their nature conservation value.
- 7.37 Impact on the character of the area, climate change and flood risk are considered elsewhere in this report. While the proposals increase the footprint of buildings on the site the retention of trees is welcomed and would soften the visual impact of the proposals on neighbouring properties..
- 7.38 To the rear of the site the course of the Graveney is designated as both a green corridor and site of importance for nature conservation. The flat roofed design offers opportunities for the proposals to reinforce the biodiversity quality of the adjoining corridor and a suitable condition requiring incorporation of a suitably designed “green roof” is recommended. A green roof would also assist in mitigating run off rates from the roof of the building which is also considered to be beneficial given the site’s proximity to the River Graveney and the associated flood risk on a small part of the site.



#### Sustainable design and construction

- 7.39 London Plan policy 5.3 and CS policy CS15 seek to ensure the highest standards of sustainability are achieved for developments which includes minimising carbon dioxide emissions, maximising recycling, sourcing materials with a low carbon footprint, ensuring urban greening and minimising the usage of resources such as water.
- 7.40 The applicant has submitted Sustainability Statement (dated 30 May 2019), which indicates that the proposed development would achieve a 35.4% improvement in CO2 emissions on Part L 2013. This exceeds the minimum sustainability requirements of Merton's Core Planning Strategy Policy CS15 (2011).
- 7.41 The internal water consumption calculations submitted for the development indicate that internal water consumption would be less than 105 litres per person per day.
- 7.42 The proposal is therefore considered to meet sustainable design and construction policies, and conditions have been recommended to secure this.

#### Community Infrastructure Levy

- 7.43 The proposed development would be subject to the Community Infrastructure Levy (CIL). This would require a contribution of £220 per additional square metre of floorspace to be paid to Merton Council and an additional £35 per additional square meter to be paid to the Mayor.

### **8. CONCLUSION**

- 8.1 The proposal would provide 8 new homes within the borough, in line with planning policy. The scale, form, design and positioning of the proposed two storey building (with lower ground floor) is considered to respond well with the suburban character of the area within a back of land site.
- 8.2 The proposed homes would provide a high standard of accommodation. Planning conditions and a unilateral agreement (for parking permit free) have been recommended to ensure that the impacts of the development are adequately addressed.
- 8.3 The proposal is considered to accord with the relevant National, Strategic and Local Planning policies and guidance and approval could reasonably be granted in this case. Officers consider the latest proposals reasonably address the earlier reasons for refusal on the appealed scheme. It is not considered that there are any other material considerations which would warrant a refusal of the application.

### **RECOMMENDATION**

Grant planning permission subject to conditions and a unilateral undertaking to secure:

1. 7 of the 8 new flats are to be parking permit free residential units

2. The developer agreeing to meet the Council's costs of reviewing and entering into [including legal fees] the unilateral agreement.
3. The developer agreeing to meet the Council's costs of monitoring the unilateral agreement.

**Conditions:**

- 1) Standard condition [Commencement of development]: The development to which this permission relates shall be commenced not later than the expiration of 3 years from the date of this permission.

Reason: To comply with Section 91 (as amended) of the Town & Country Planning Act 1990.

- 2) Standard condition [Approved plans]: The development hereby permitted shall be carried out in accordance with the following approved plans: [Refer to the schedule on page 1 of this report].

Reason: For the avoidance of doubt and in the interests of proper planning.

- 3) No development, other than demolition, shall take place until details of particulars and samples of the materials to be used on all external faces of the development hereby permitted (notwithstanding any materials specified in the application form and/or the approved drawings), have been submitted to the Local Planning Authority for approval. The submitted details shall include detailed drawings (at Scale 1:20) of all fenestration, including surrounds, panelling, framing and glazing details, balustrades and balconies (including all roof terraces). No works which are the subject of this condition shall be carried out until the details are approved, and the development shall be carried out in full accordance with the approved details.

Reason: To ensure a satisfactory appearance of the development and to comply with the following Development Plan policies for Merton: policy 7.6 of the London Plan 2016, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

- 4) Prior to the commencement of the development hereby permitted, a Construction Logistics Plan shall be submitted to and approved in writing by the Local Planning Authority. The approved measures shall be implemented prior to the first occupation of the development hereby permitted and shall be so maintained for the duration of the use.

Reason: To ensure the safety of pedestrians and vehicles and the amenities of the surrounding area and to comply with the following development Plan policies 6.3 and 6.14 of the London Plan, policy CS20 of the Merton Core Strategy and policy DMT2 of the Merton Sites and Policies Plan 2014.

- 5) No development, including demolition, shall take place until a Demolition and Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the demolition and construction period.

The Statement shall provide for:

- hours of operation
- the parking of vehicles of site operatives and visitors

- loading and unloading of plant and materials
- storage of plant and materials used in constructing the development
- the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate
- wheel washing facilities
- measures to control the emission of noise and vibration during construction.
- measures to control the emission of dust and dirt during construction/demolition
- a scheme for recycling/disposing of waste resulting from demolition and construction works
- emissions from Non Road Mobile Machinery during construction
- produced by the Contractor responsible for excavation, underpinning and construction of the basement retaining walls. This shall be reviewed and agreed by the Structural Engineer designing the temporary and permanent retaining structures.
- plan showing any temporary works, underpinning sequence and sections of the retaining walls produced by the relevant appointed Contractor.

Reason: To ensure the safety of pedestrians and vehicles and the amenities of the surrounding area and to comply with the following Development Plan policies for Merton: policies 6.3 and 6.14 of the London Plan 2015, policy CS20 of Merton's Core Planning Strategy 2011 and policy DM T2 of Merton's Sites and Policies Plan 2014.

- 6) No development, other than demolition of existing buildings, shall take place until full details of a landscaping and planting scheme has been submitted to and approved in writing by the Local Planning Authority, this includes the green wall to be grown up the retaining wall, and these works shall be carried out as approved before the commencement of the use or the occupation of any building hereby approved, unless otherwise agreed in writing by the Local Planning Authority. The details shall include on a plan, full details of the size, species, spacing, quantities and location of proposed plants, together with any hard surfacing, means of enclosure, and indications of all existing trees, hedges and any other features to be retained.

Reason: To enhance the appearance of the development in the interest of the amenities of the area, to ensure the provision sustainable drainage surfaces and to comply with the following Development Plan policies for Merton: policies 5.1, 7.5 and 7.21 of the London Plan 2016, policies CS13 and CS16 of Merton's Core Planning Strategy 2011 and policies DM D2, DM F2 and DM O2 of Merton's Sites and Policies Plan 2014.

- 7) The development shall not be occupied until full details of a "green roof" have been submitted to and approved by the local planning authority and installed.  
Reason. To ensure the development enhances the biodiversity quality of the adjoining green corridor/site of importance for nature conservation and to comply with Core Planning Strategy policy CS13 and Sites and Policies Plan policy DM.D2.

- 8) No part of the development hereby approved shall be occupied until evidence has been submitted to, and approved in writing by, the Local Planning Authority confirming that the development has achieved CO2 reductions of not less than a 19% improvement on Part L regulations 2013, and internal water consumption rates of no greater than 105 litres per day.

Reason: To ensure that the development achieves a high standard of sustainability and makes efficient use of resources and to comply with the following Development Plan policies for Merton: Policy 5.2 of the London Plan 2016 and Policy CS15 of Merton's Core Planning Strategy 2011.



- 9) No development shall take place until the developer has provided a Waste Management Strategy that details the arrangements for the collection and disposal/recycling of refuse and recycling generated from the occupation of the development. Any arrangement shall be to the satisfaction of the Local Planning Authority. The development shall not be occupied until the arrangement has been approved and the development may only continue to be occupied while the approved arrangement is operation.

Reason: To ensure the provision of satisfactory facilities for the storage of refuse and recycling material and to comply with the following Development Plan policies for Merton: policy 5.17 of the London Plan 2015, policy CS17 of Merton's Core Planning Strategy 2011 and policy DM D2 of Merton's Sites and Policies Plan 2014.

- 10) No development shall take place until details of all boundary walls or fences are submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall not be occupied / the use of the development hereby approved shall not commence until the details are approved and works to which this condition relates have been carried out in accordance with the approved details. The walls and fencing shall be permanently retained thereafter.

Reason: To ensure a satisfactory and safe development in accordance with the following Development Plan policies for Merton: policies 7.5 and 7.6 of the London Plan 2016, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D1 and D2 of Merton's Sites and Policies Plan 2014.

- 11) Prior to the occupation of the development a landscape management plan including long term design objectives, management responsibilities and maintenance schedules for all landscaped areas including green walls and green roofs, other than small, privately owned, domestic gardens, shall be submitted to and approved in writing by the Local Planning Authority. The landscape management plan shall be carried out in accordance with the approved scheme.

Reason: To ensure the appearance of the development is maintained in the interest of the amenities of the area, to ensure the maintenance of sustainable drainage surfaces and to comply with the following Development Plan policies for Merton: policies 5.12 and 5.13 of the London Plan 2016, policies CS13 and CS16 of Merton's Core Planning Strategy 2011 and policies DM D2, F2 and O2 of Merton's Sites and Policies Plan 2014.

- 12) The development shall be completed in accordance with the recommended glazing specification and ventilation system treatment detailed within KP Acoustics report 18329.NVA.01 dated 20th November 2018, and shall meet the recommended standard or higher. Post development assessment shall be undertaken to ensure that the internal noise standards are met prior to first occupation and shall be submitted to the Local Planning Authority.

Reason: To safeguard the amenities of the area and the occupiers of neighbouring properties and ensure compliance with the following Development Plan policies for Merton: policy 7.15 of the London Plan 2016 and policies DM D2, DM D3, DM EP2 and DM EP4 of Merton's Sites and Policies Plan 2014.

- 13) No demolition or construction work or ancillary activities such as deliveries shall take place before 8am or after 6pm Mondays - Fridays inclusive, before 8am or after 1pm on Saturdays or at any time on Sundays or Bank Holidays.

Reason: To safeguard the amenities of future and neighbouring occupiers and to ensure compliance with the following Development Plan policies for Merton: policies DM D2 and DM EP4 of Merton's Sites and Policies Plan 2014.

- 14) The development hereby permitted shall be carried out in accordance with the recommended flood and drainage strategy described within the submitted Flood Risk Assessment Rev 2 by ECO studio XV & Geotechnical Survey Report 1354, unless otherwise agreed in writing by the Local Planning Authority.

Reason: to reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy 5.13.

- 15) No dwelling shall be occupied until the application has provided written confirmation as to the installation of a fire hydrant (or otherwise agreed fire management and safety plan), and that such measures have been agreed by the London Fire Brigade.

Reason: To ensure the development delivers measures for use by emergency services or suitable alternative measures for the development and to comply with the objectives of Merton Core Planning Strategy policy CS20 and Merton Sites and Policies Plan policy DM.D2.

- 16) Not less than 1 and no more than 3 off street car parking spaces shall be permitted in total in the development hereby approved, and the spaces shall thereafter be permanently retained for the parking of vehicles in connection with the residential use of the dwellings and used for no other purpose, unless otherwise agreed in writing by the Local Planning Authority.

Reason - To safeguard the amenities of the surrounding area and to comply with policy DM D2 of the Sites and Policies Plan

- 17) The detailed recommendations, enhancements and conclusions made in section 4.2 of the submitted Preliminary Ecological Appraisal Survey Rev 4, shall be carried out in accordance with the time frames recommended.

Reason - To preserve the biodiversity of the site and surrounding area, and to comply with CS13 of Merton's Core Strategy 2011.

- 18) No other drainage systems for the infiltration of surface water drainage into the ground are permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to Controlled Waters. The development shall be carried out in accordance with the approval details.

Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy 5.13.

- 19) With the exception of the roof terrace area of 26sqm shown on drawing SK/04. No other part of the building's roof shall be used as a roof garden, terrace, patio or similar amenity area.

Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policy 7.6 of the London Plan 2016, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

- 20) The details and measures for the protection of the existing trees as recommended in the submitted Arboricultural Report by dpa Consultants dated June 2019 - shall be fully complied with. The methods for the protection of the existing retained trees shall fully accord with all of the measures specified in the report and shall be installed prior to the commencement of any site works and shall remain in place until the conclusion of all site works.

Reason: To protect and safeguard the existing retained trees in accordance with the following Development Plan policies for Merton: policy 7.21 of the London Plan 2015, policy CS13 of Merton's Core Planning Strategy 2011 and policy O2 of Merton's Sites and Policies Plan 2014.

- 21) Before the development hereby permitted is first occupied, the windows in both side elevations at first floor level shall be glazed with obscure glass and fixed shut and shall permanently maintained as such thereafter.

Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policy 7.6 of the London Plan 2016, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

- 22) Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.

Reason: To ensure that the proposal has an acceptable impact on groundwater in accordance with Merton's policies CS16, DMF2 and the London Plan policy 5.13.

- 23) The development hereby permitted shall not be occupied until the cycle parking shown on the plans hereby approved has been provided and made available for use. These facilities shall be retained for the occupants of and visitors to the development at all times.

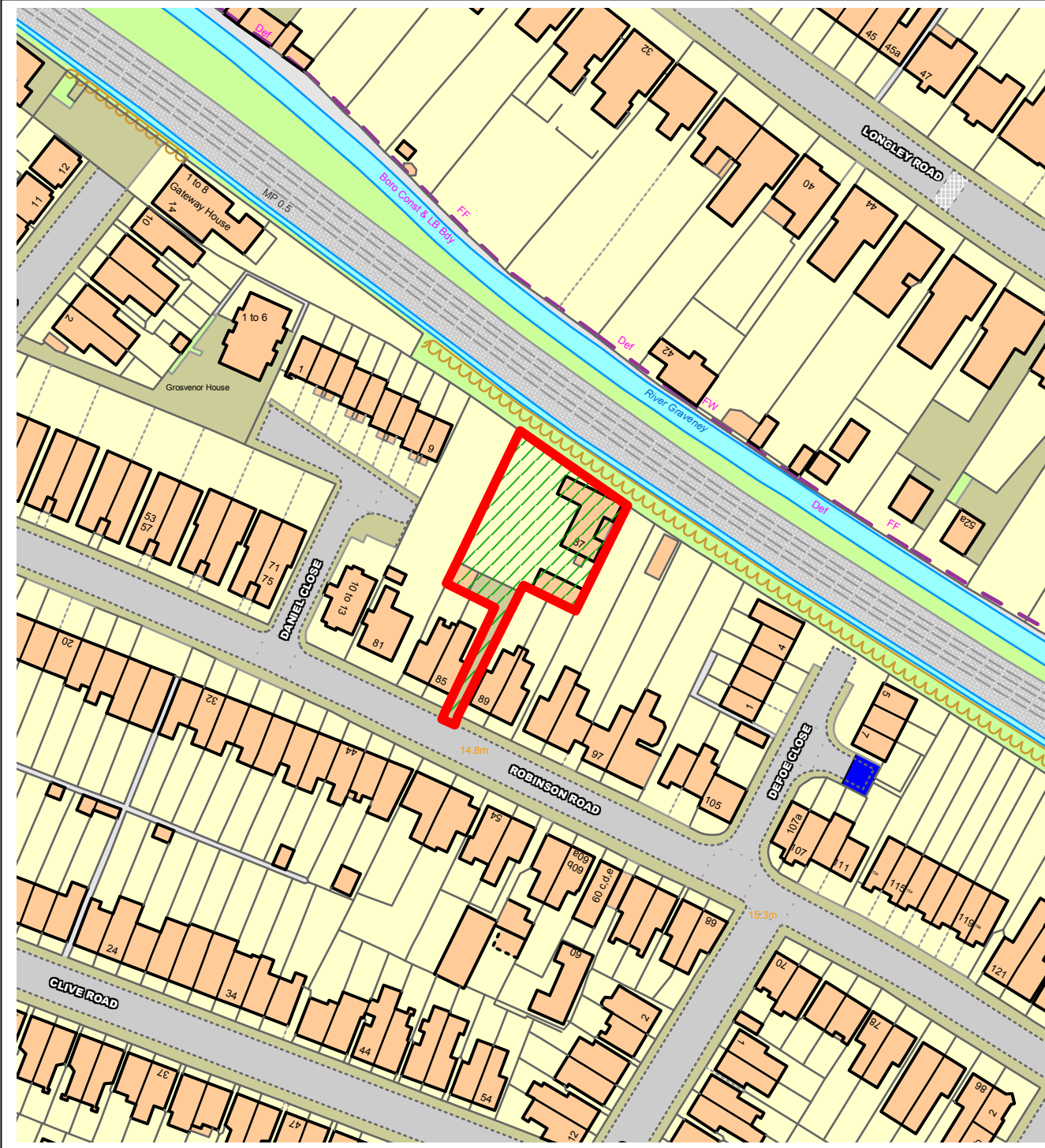
Reason: To ensure satisfactory facilities for cycle parking are provided and to comply with the following Development Plan policies for Merton: policy 6.13 of the London Plan 2016, policy CS18 of Merton's Core Planning Strategy 2011 and policy DM T1 of Merton's Sites and Policies Plan 2014.

- 24) Any external lighting shall be positioned and angled to prevent any light spillage or glare beyond the site boundary.

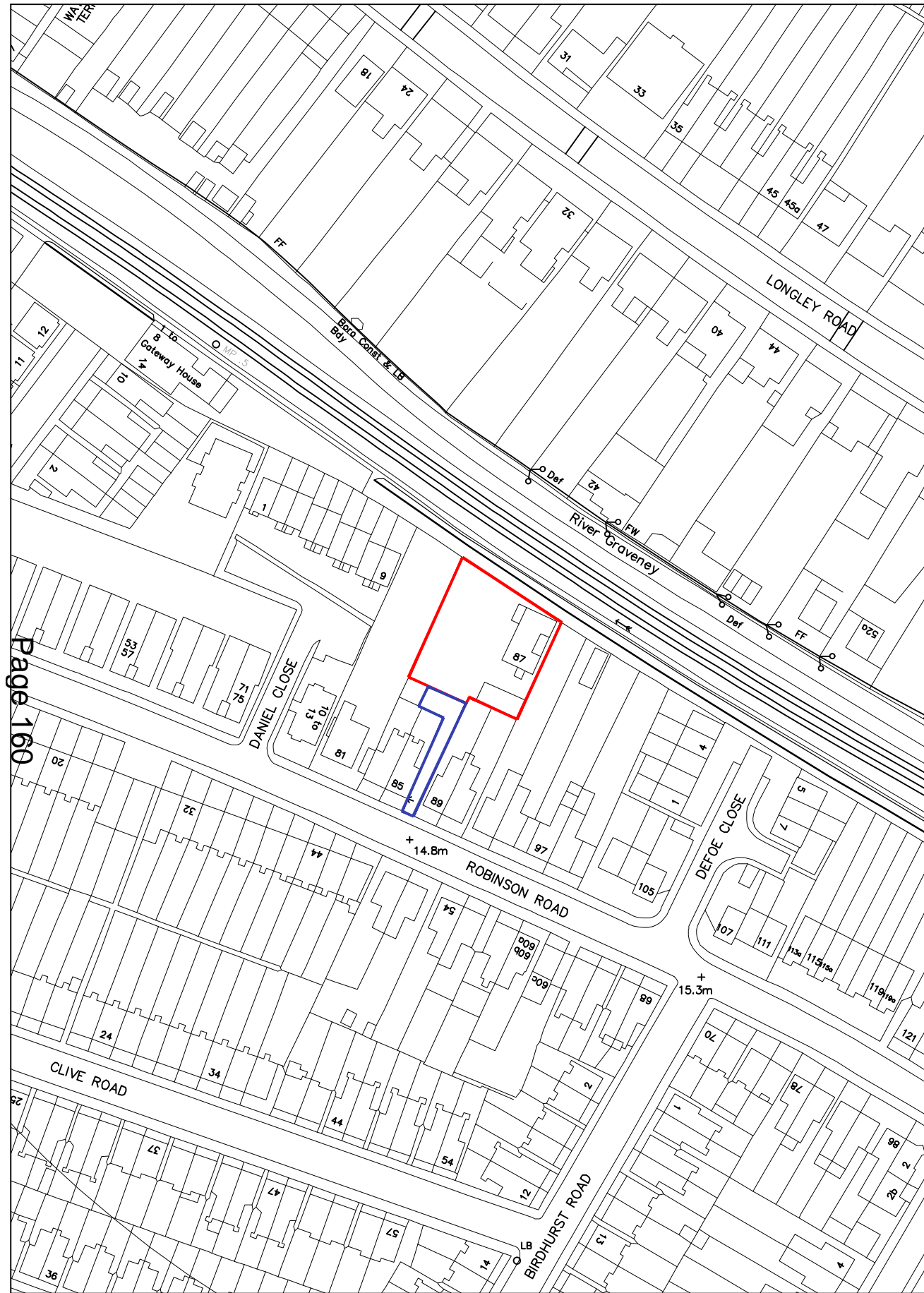


Reason: To safeguard the amenities of the area and the occupiers of neighbouring properties and ensure compliance with the following Development Plan policies for Merton: policies DM D2 and DM EP4 of Merton's Sites and Policies Plan 2014.

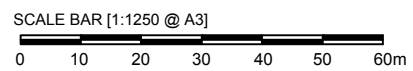
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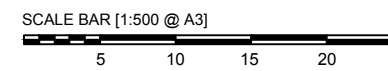
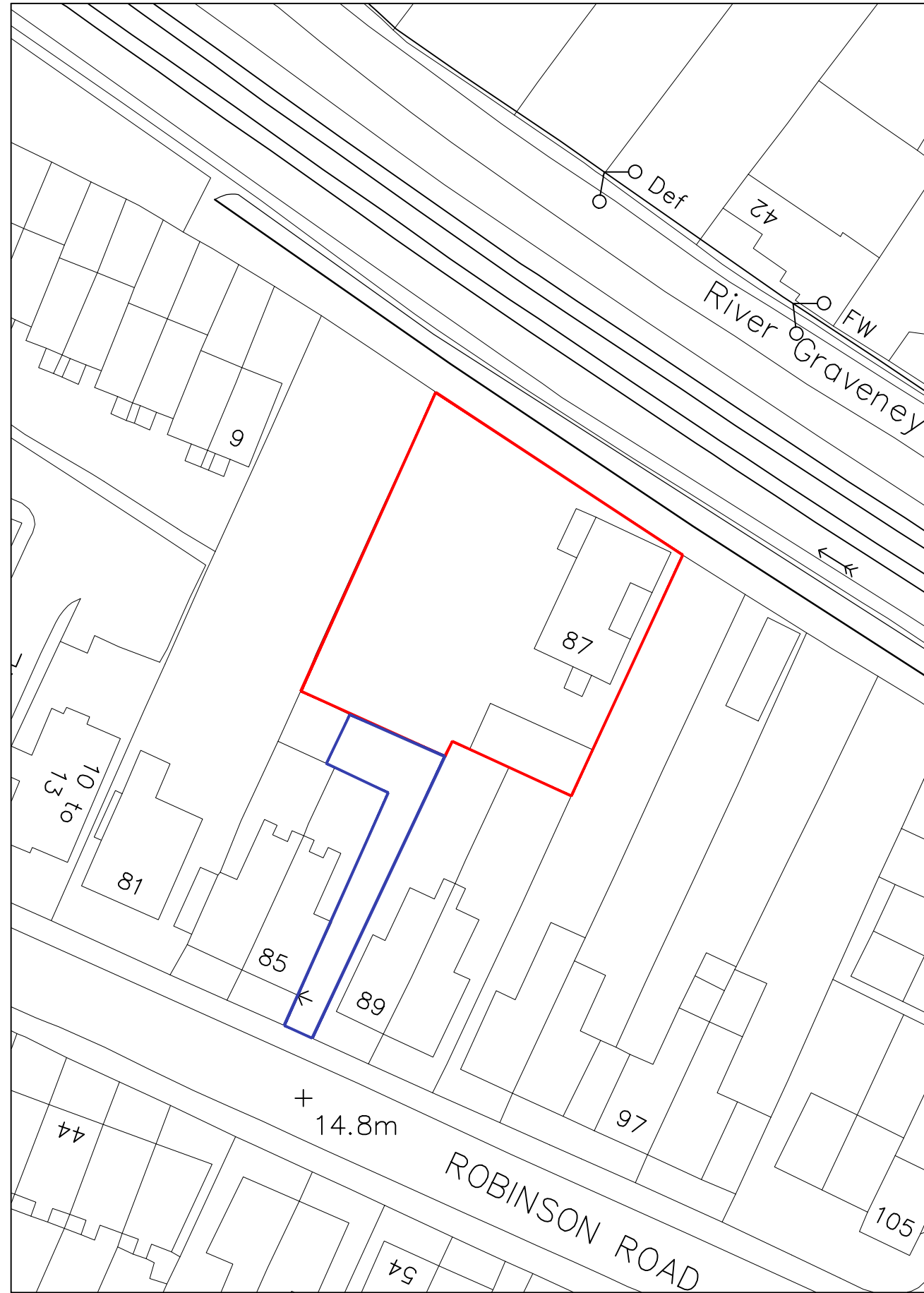
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Page 160



1 SITE LOCATION SCALE 1 : 1250



2 BLOCK PLAN SCALE 1 : 500

Note:  
 This drawing has been produced for the purposes of obtaining planning approval. It is not to be used for construction or other purposes without the consent of the relevant authority.  
 All structural and other works shall be carried out in accordance with the Building Regulations (as amended) and other relevant works.  
 Attention is drawn to the provisions of the Building Act 1996. Legal obligations shall be met by others.

REV	DATE	DESCRIPTION	CHK'S



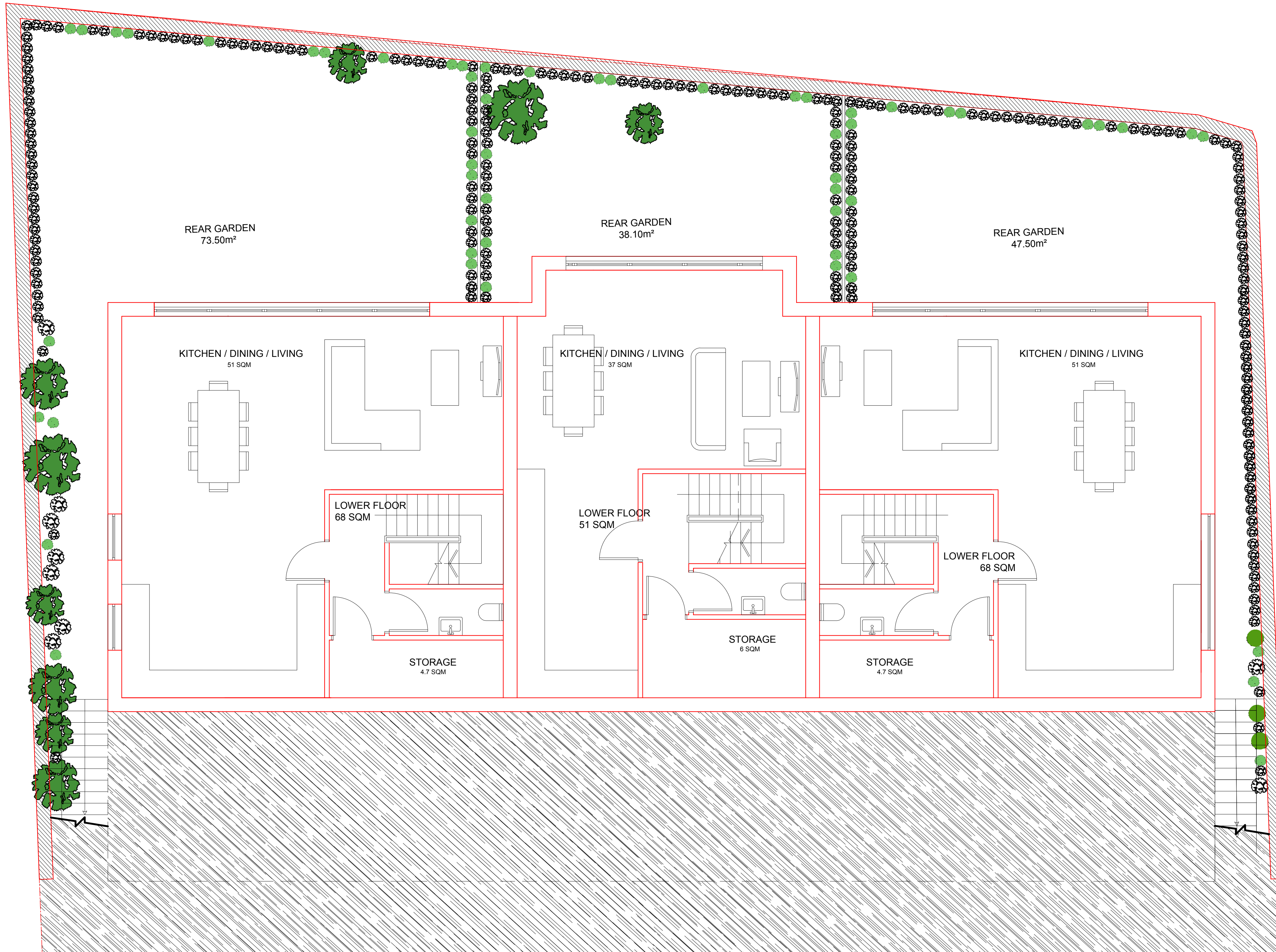
client  
 87 Robinson road, SW17 9DN

project  
**FULL PLANNING APPLICATION**  
 Demolition of existing 3 storey property & erection of 2 storey plus roof addition building with 9 self contained units with associated 3 off-street parking space, refuse & bike storage.

drawing title  
**LOCATION PLAN**

date June 2019	scale N/A	dwn OTIS
drawing number 01	sheet no. 01 of 17	rev





title  
87 ROBINSON ROAD  
SW17 9DN, LONDON

client

description  
BASEMENT PLAN

**bm** architects | burgess mean architects  
unit 1, the warehouse  
12 ravenbury terrace  
london  
SW18 4RL

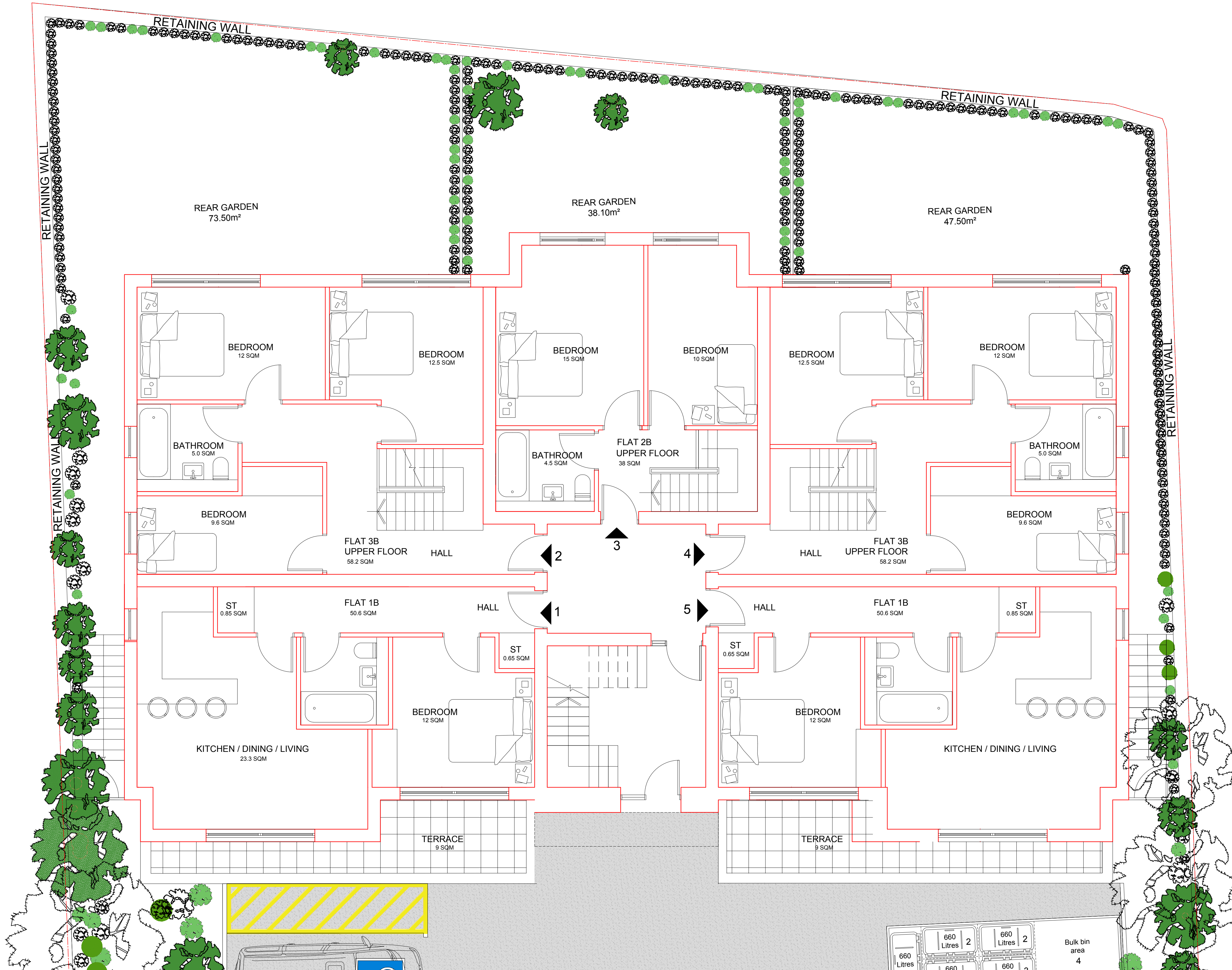
all dimensions to be checked on site. any discrepancy between this drawing and other information is to be referred to the partner(s). this drawing is copyright.

t: 020 8944 8050 | f: 020 8946 9506 | e: bma@burgessmean.co.uk

date: DEC 2019	scale: 1:50 (A1)	project	drawing: SK/01	revision
drawn by: SA				
file name:				
checked:				

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87 ROBINSON ROAD  
 SW17 9DN, LONDON

description  
 GROUND FLOOR PLAN

**bm**  
 architects

burgess mean architects  
 unit 1, the warehouse  
 12 ravenbury terrace  
 london  
 SW18 4RL

t: 020 8944 8050 f: 020 8946 9506 e: bma@burgessmean.co.uk

date: DEC 2019 scale: 1:50 (A1)  
 drawn by: SA project: drawing: SK/02  
 checked: revision:

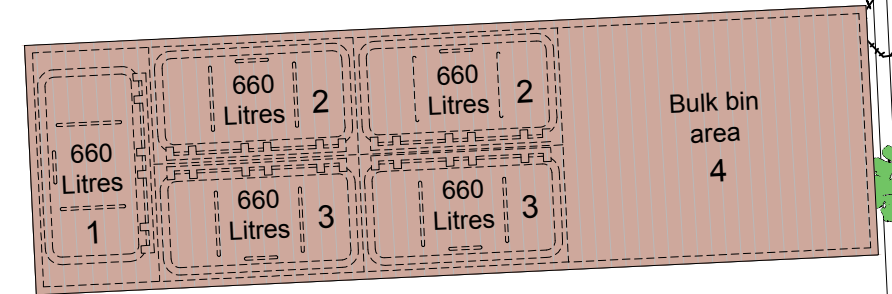
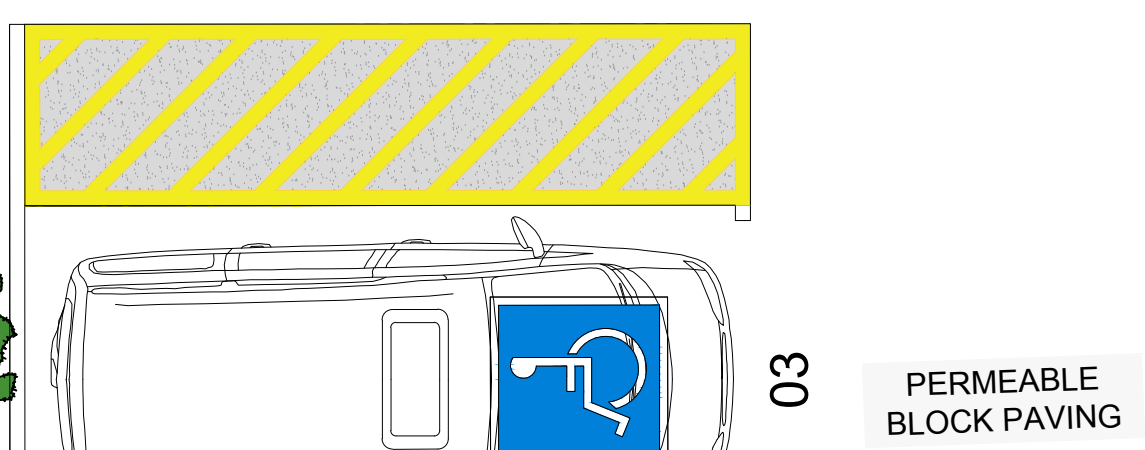


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87 ROBINSON ROAD  
 SW17 9DN, LONDON

description  
 FIRST FLOOR PLAN



**bm**  
 architects

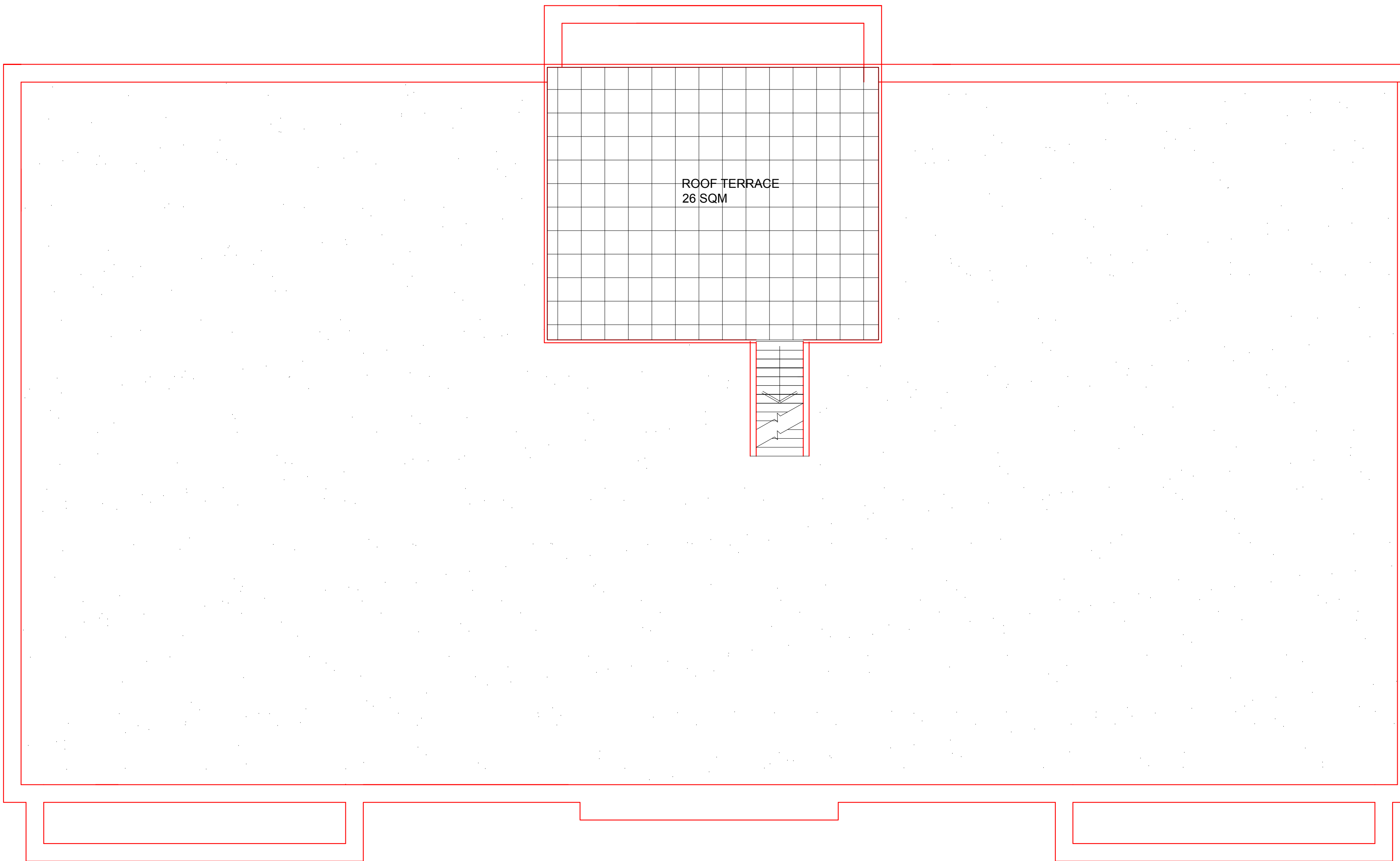
burgess mean architects  
 unit 1, the warehouse  
 12 ravenbury terrace  
 london  
 SW18 4RL

t: 020 8944 8050 f: 020 8946 9506 e: bma@burgessmean.co.uk

date: DEC 2019 scale: 1:50 (A1)  
 drawn by: SA project: drawing: SK/03  
 checked: revision:

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title  
 87 ROBINSON ROAD  
 SW17 9DN, LONDON

client

description  
 ROOF PLAN

**bm**  
 architects

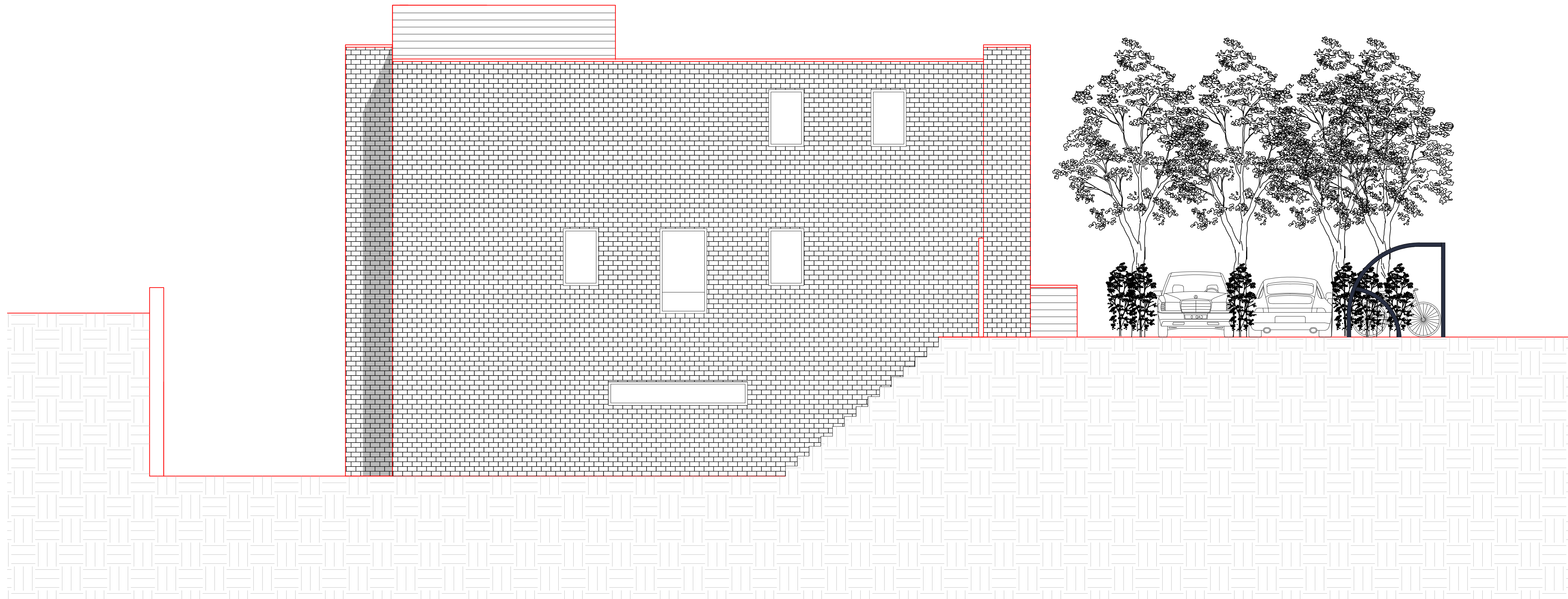
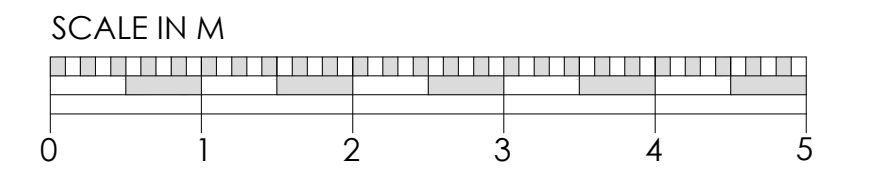
burgess mean architects  
 unit 1, the warehouse  
 12 ravenbury terrace  
 london  
 SW18 4RL

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date: DEC 2019	scale: 1:50 (A1)	project	drawing SK/04	revision
drawn by: SA				
file name:				
checked:				





title  
 87 ROBINSON ROAD  
 SW17 9DN, LONDON

client

description  
 PROPOSED NORTH WEST ELEVATION

**bm**  
 architects

burgess mean architects  
 unit 1, the warehouse  
 12 ravenbury terrace  
 london  
 SW18 4RL

all dimensions to be checked on site. any discrepancy between this drawing and other information is to be referred to the partner(s). this drawing is copyright.

t: 020 8944 8050 f: 020 8946 9506 e: bma@burgessmean.co.uk

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checked:				





title  
87 ROBINSON ROAD  
SW17 9DN, LONDON

client

description  
PROPOSED REAR ELEVATION

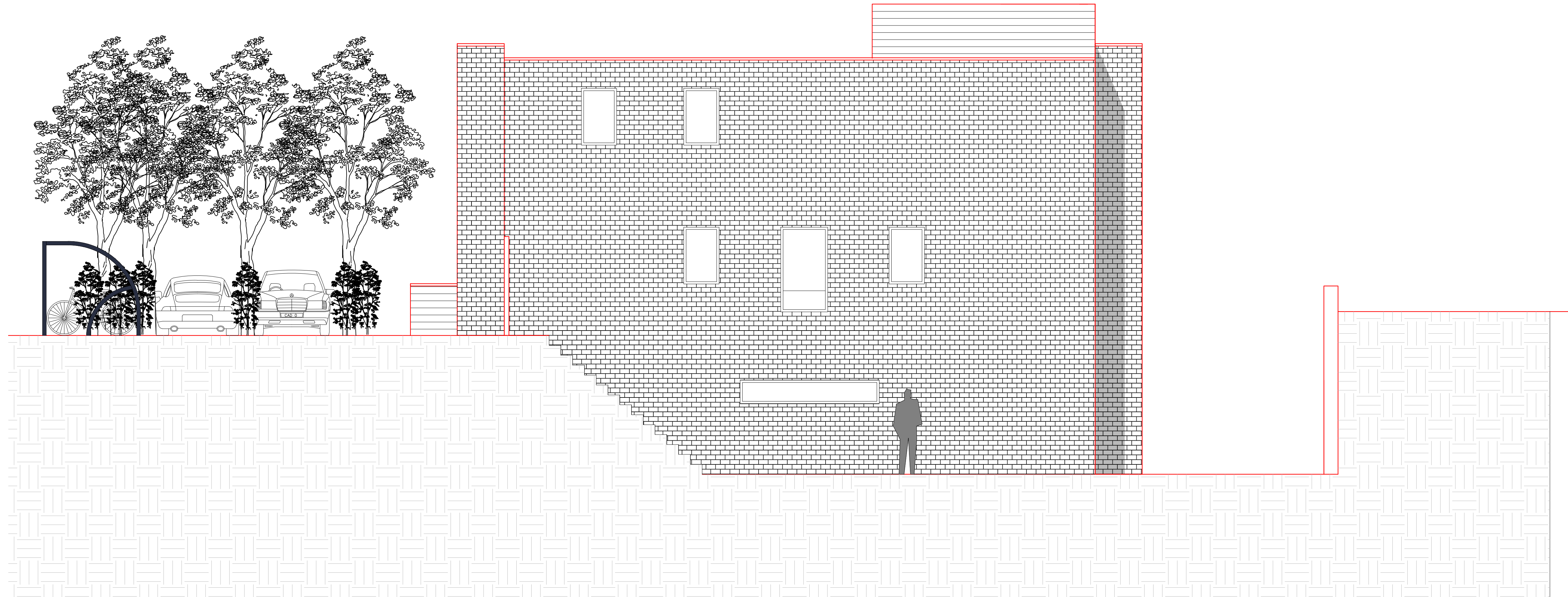
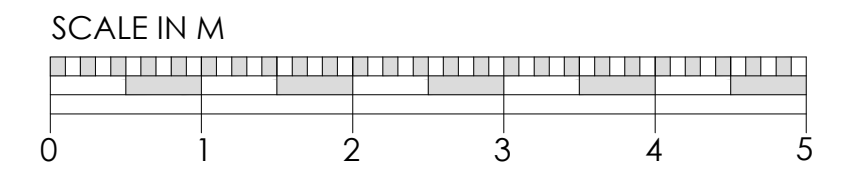
**bm**  
architects

burgess mean architects  
unit 1, the warehouse  
12 ravenbury terrace  
london  
SW18 4RL

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drawn by: SA	(A1)		SK/06	
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title  
87 ROBINSON ROAD  
SW17 9DN, LONDON

client

description  
PROPOSED SOUTH EAST ELEVATION



burgess mean architects  
unit 1, the warehouse  
12 ravenbury terrace  
london  
SW18 4RL

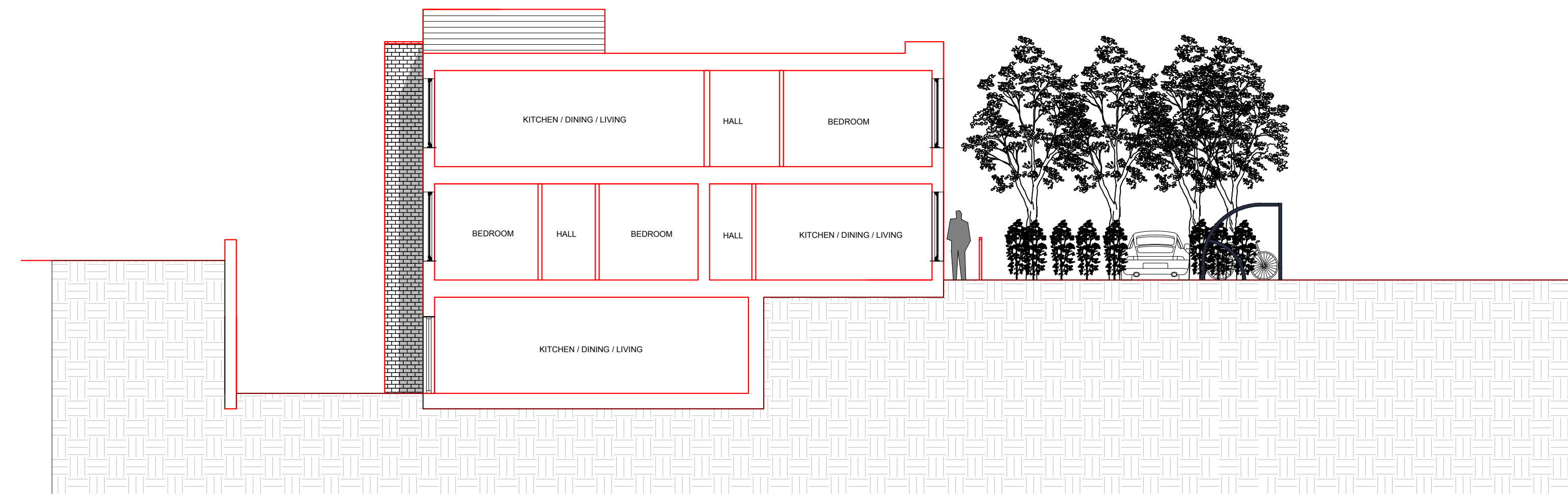
all dimensions to be checked on site. any discrepancy between this drawing and other information is to be referred to the partner(s). this drawing is copyright.  
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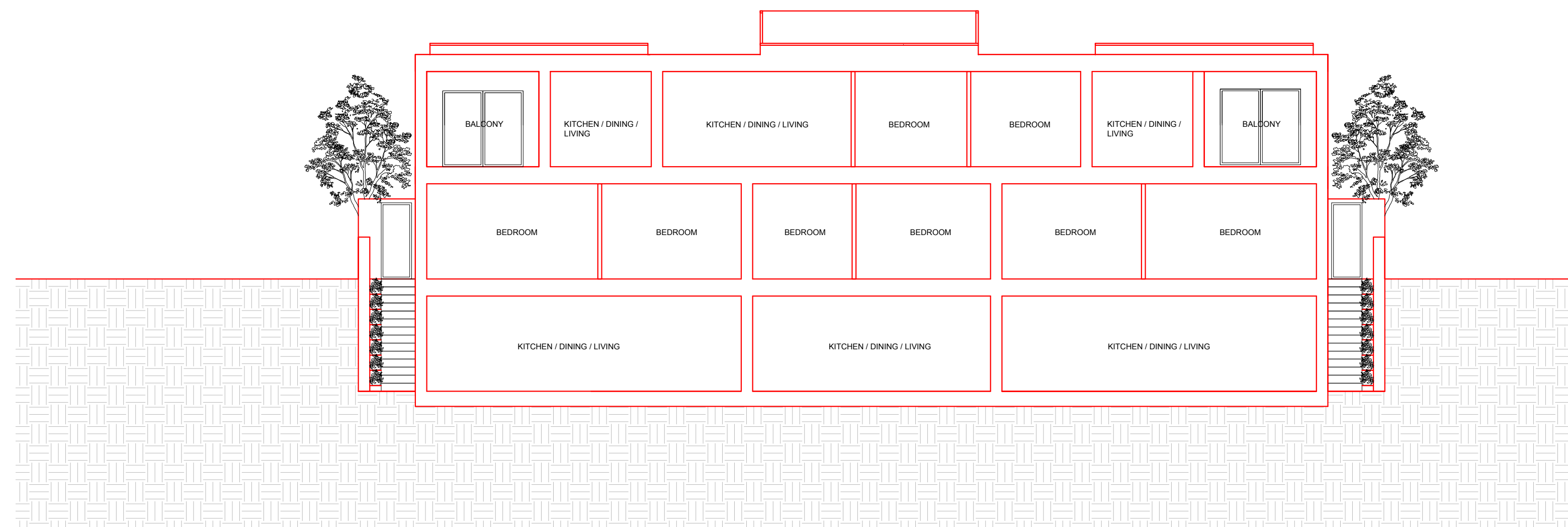
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SCALE IN M  
0 1 2 3 4 5 6 7 8 9 10



SECTION AA



SECTION BB

title  
87 ROBINSON ROAD  
SW17 9DN, LONDON

client

description  
PROPOSED SECTIONS AA & BB

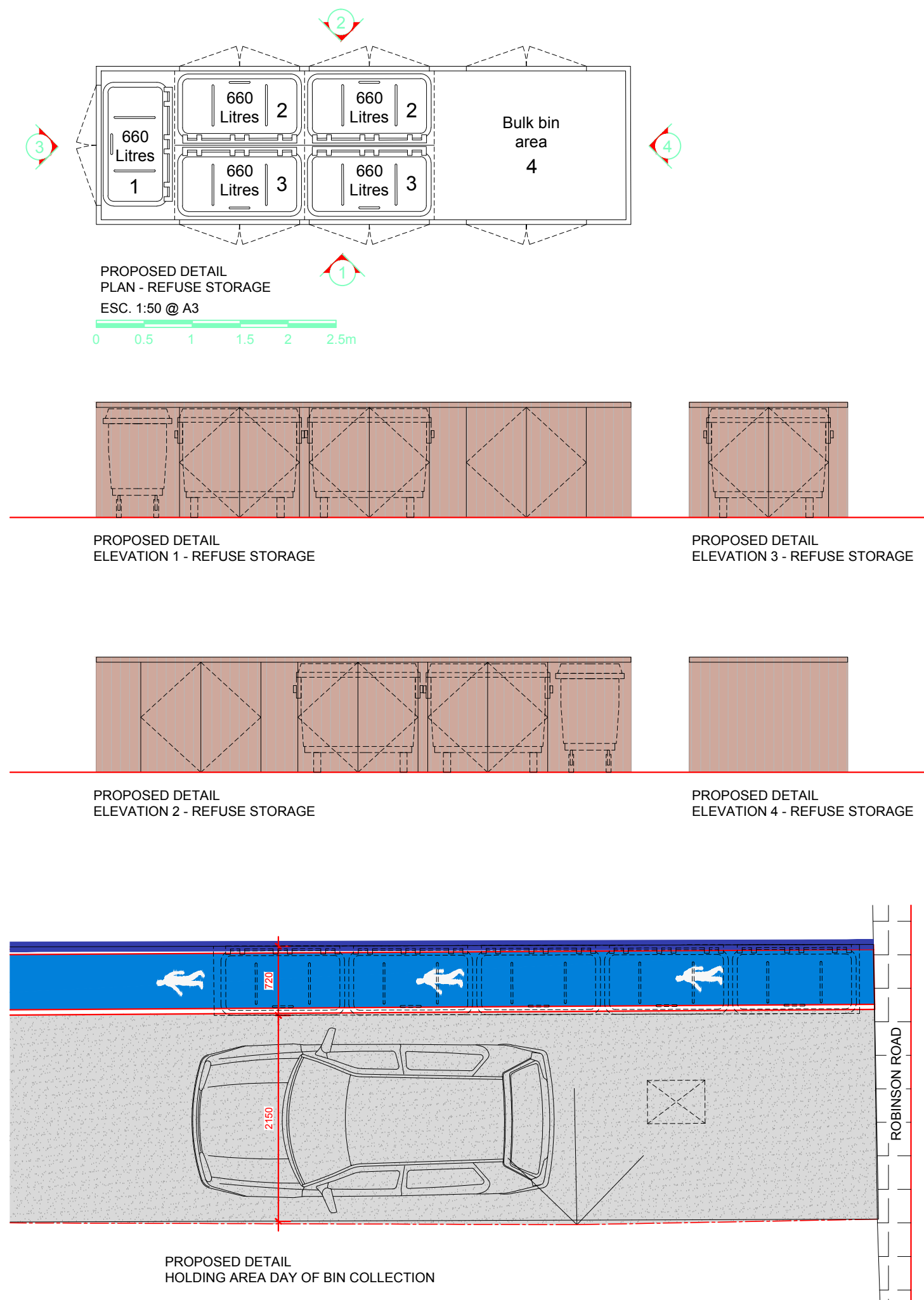
**bm** architects  
burgess mean architects  
unit 1, the warehouse  
12 ravenbury terrace  
london  
SW18 4RL

all dimensions to be checked on site. any discrepancy between this drawing and other information is to be referred to the partner(s). this drawing is copyright.

t: 020 8944 8050 f: 020 8946 9506 e: bma@burgessmean.co.uk

date: DEC 2019	scale: 1:100	project	drawing	revision
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file name:				
checked:				

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title  
87 ROBINSON ROAD  
SW17 9DN, LONDON  
client

description  
PROPOSED REFUSE STORAGE &  
HOLDING AREA DAY COLLECTION

**bm**  
architects

burgess mean architects  
unit 1, the warehouse  
12 ravenbury terrace  
london  
SW18 4RL

all dimensions to be checked on site. any discrepancy between this drawing and other information is to be referred to the partner(s). this drawing is copyright.

t: 020 8944 8050 f: 020 8946 9506 e: bma@burgessmean.co.uk

date: DEC 2019	scale: 1:50 (A1)	project:	drawing: SK/05	revision:
drawn by: SA				
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Committee: Planning Applications

Date: 14<sup>th</sup> May 2020

## **Subject:** Planning Appeal Decisions

Lead officer: Head of Sustainable Communities

Lead member: Chair, Planning Applications Committee

### **Recommendation:**

**That Members note the contents of the report.**

### **1. PURPOSE OF REPORT AND EXECUTIVE SUMMARY**

- 1.1 For Members' information recent decisions made by Inspectors appointed by the Secretary of State for Communities and Local Government in respect of recent Town Planning Appeals are set out below.
- 1.2 The relevant Inspectors decision letters are not attached to this report but can be viewed by following each individual link. Other agenda papers for this meeting can be viewed on the Committee Page of the Council Website via the following link:

**[LINK TO COMMITTEE PAGE](#)**

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### **DETAILS**

Application Numbers: **19/P1462**  
Site: Flat 1, 237 Kingston Road, Wimbledon SW19 3NW  
Development: Erection of single storey rear extension  
Recommendation: Refuse (delegated decision)  
Appeal Decision: **DISMISSED**  
Date of Appeal Decision: 13<sup>th</sup> March 2020

**[Link to Appeal Decision Notice](#)**

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Application Numbers: **19/P2650**  
Site: 5 Park Avenue Mews, Mitcham CR4 2AJ  
Development: Change of use from storage (class B8) to residential (class C3)  
Recommendation: Refuse (delegated decision)  
Appeal Decision: **DISMISSED**  
Date of Appeal Withdrawal: 26<sup>th</sup> March 2020

## [Link to Appeal Decision Notice](#)

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Application Numbers: **19/P2905**  
Site: 64 Henfield Road, Wimbledon SW19 3HH  
Development: Prior approval for a single storey rear extension, extending 6 metres from rear of building, to a maximum height of 3.6 metres and eaves at 3 metres  
Recommendation: Refuse (delegated decision)  
Appeal Decision: **ALLOWED**  
Appeal Costs Decision: **GRANTED FULL COSTS**  
Date of Appeal Withdrawal: 13<sup>th</sup> March 2020

## [Link to Appeal Decision Notice](#)

## [Link to Costs Decision](#)

---

### **Alternative options**

- 3.1 The appeal decision is final unless it is successfully challenged in the Courts. If a challenge is successful, the appeal decision will be quashed and the case returned to the Secretary of State for re-determination. It does not follow necessarily that the original appeal decision will be reversed when it is re-determined.
- 3.2 The Council may wish to consider taking legal advice before embarking on a challenge. The following applies: Under the provision of Section 288 of the Town & Country Planning Act 1990, or Section 63 of the Planning (Listed Buildings and Conservation Areas) Act 1990, a person or an establishment who is aggrieved by a decision may seek to have it quashed by making an application to the High Court on the following grounds: -
  1. That the decision is not within the powers of the Act; or
  2. That any of the relevant requirements have not been complied with; (relevant requirements means any requirements of the 1990 Act or of the Tribunal's Land Enquiries Act 1992, or of any Order, Regulation or Rule made under those Acts).



**1 CONSULTATION UNDERTAKEN OR PROPOSED**

1.1. None required for the purposes of this report.

**2 TIMETABLE**

2.1. N/A

**3 FINANCIAL, RESOURCE AND PROPERTY IMPLICATIONS**

3.1. There are financial implications for the Council in respect of appeal decisions where costs are awarded against the Council.

**4 LEGAL AND STATUTORY IMPLICATIONS**

4.1. An Inspector's decision may be challenged in the High Court, within 6 weeks of the date of the decision letter (see above).

**5 HUMAN RIGHTS, EQUALITIES AND COMMUNITY COHESION IMPLICATIONS**

5.1. None for the purposes of this report.

**6 CRIME AND DISORDER IMPLICATIONS**

6.1. None for the purposes of this report.

**7 RISK MANAGEMENT AND HEALTH AND SAFETY IMPLICATIONS**

7.1. See 6.1 above.

**8 BACKGROUND PAPERS**

8.1. The papers used to compile this report are the Council's Development Control service's Town Planning files relating to the sites referred to above and the agendas and minutes of the Planning Applications Committee where relevant.

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## **Committee:** Planning Applications Committee

**Date:** 14<sup>th</sup> May 2020

**Agenda item:**

**Wards:** All

**Subject:** PLANNING ENFORCEMENT - SUMMARY OF CURRENT CASES

**Lead officer:** HEAD OF SUSTAINABLE COMMUNITIES

**Lead member:** CABINET MEMBER FOR REGENERATION, HOUSING AND  
TRANSPORT COUNCILLOR MARTIN WHELTON

**COUNCILLOR LINDA KIRBY, CHAIR, PLANNING APPLICATIONS COMMITTEE**

**Contact Officer** Ray Littlefield: 0208 545 3911  
Ray.Littlefield@merton.gov.uk

### **Recommendation:**

---

That Members note the contents of the report.

---

#### **1. Purpose of report and executive summary**

This report details a summary of casework being dealt with by the Planning Enforcement Team and contains figures of the number of different types of cases being progressed, with brief summaries of all new enforcement notices and the progress of all enforcement appeals.



<b>Current Enforcement Cases:</b>	<b>398</b>	<sup>1</sup> (388)	<b>New Appeals:</b>	(0)	(0)
<b>New Complaints</b>	32	(37)	<b>Instructions to Legal</b>	<b>0</b>	(0)
<b>Cases Closed</b>	<b>22</b>		<b>Existing Appeals</b>	<b>5</b>	(5)
No Breach:	15		<hr/>		
Breach Ceased:	7		<b>TREE ISSUES</b>		
NFA <sup>2</sup> (see below):	0		<b>Tree Applications Received</b>	<b>48</b>	<b>(68)</b>
Total	22	(163)	<b>% Determined within time limits:</b>	<b>100%</b>	
<b>New Enforcement Notices Issued</b>			<b>High Hedges Complaint</b>	<b>0</b>	<b>(0)</b>
Breach of Condition Notice:	0		<b>New Tree Preservation Orders (TPO)</b>	<b>3</b>	<b>(3)</b>
New Enforcement Notice issued	0	(0)	<b>Tree Replacement Notice</b>	<b>0</b>	
S.215: <sup>3</sup>	0		<b>Tree/High Hedge Appeal</b>	<b>0</b>	<b>(0)</b>
Others (PCN, TSN)	0	(0)			
Total	0	(0)			
<b>Prosecutions:</b> (instructed)	0	(0)			

Note (*figures are for the period from (11<sup>th</sup> March 2020 to 4<sup>th</sup> May 2020*). The figure for current enforcement cases was taken directly from M3 crystal report.

<sup>1</sup> Totals in brackets are previous month's figures

<sup>2</sup> confirmed breach but not expedient to take further action.

<sup>3</sup> S215 Notice: Land Adversely Affecting Amenity of Neighbourhood.

## 2.0 New Enforcement Actions

**283 Galpins Road CR7 6EY.** This is concerning a s215 notice served on untidy land. A s215 notice was issued on 23 December 2019. This notice required compliance at the end of February 2020 requiring the Land to be tidied up / cleared.

**31 Edgehill Road, Mitcham, CR4 2HY.** This is concerning a raised platform/garden that has been raised by approximately 90cm. An enforcement notice has been served to remove the raised platform and reduce the garden level by 90cm. The notice would have taken effect on 18/12/19, with a compliance date of 18/03/20, however an appeal has been submitted and is underway.

**193 London Road CR4 2TJ.** This is concerning untidy land to the side and rear of 193 London Road. An initial site visit was carried out, multiple letters have been sent to the property asking for compliance and for them to contact the Council to confirm a compliance schedule of works. Correspondence from the owner has been received. A further visit was made to confirm the site has not been tidied. A s215 enforcement Notice for untidy land has been drafted and is due to be reviewed and signed off by a manager authorising the service of a s215 Notice.

**155 Canterbury Road, Morden, SM4 6QG.** This is concerning an outbuilding in the rear garden that has had a retrospective planning application refused. An enforcement notice has been served on the property for the outbuilding to be demolished, the notice would have taken effect on 9th December 2019 and the compliance period would have been two months. However it has now been appealed to the Planning Inspectorate. The appeal is now ongoing.

**208 Bishopsford Road, Morden, SM4 6DA.** This is concerning the erection of a single storey rear extension onto an existing extension on the ground floor. A Planning Enforcement Notice has been issued requiring the demolition of the Extension. The Notice was issued on 4<sup>th</sup> October 2019, the Notice came into effect on 10<sup>th</sup> November 2019 with a compliance period of 3 months, unless an appeal was made before 10<sup>th</sup> November 2019. An appeal was submitted but rejected by the Planning Inspectorate as it was received by The Planning Inspectorate one day late. Compliance date was 10<sup>th</sup> February 2020. Further action is under consideration

**The former laundry site, 1 Caxton Road, Wimbledon SW19 8SJ.** Planning Permission was granted for 9 flats, with 609square metres of (Class B1) office units. 22 flats have been created. A Planning Enforcement Notice was issued on 11th October 2018 requiring either the demolition of the development or building to the approved scheme. The Notice took effect on 18th November 2018 with a compliance period of 12 calendar months. An appeal was made but subsequently withdrawn the following day. The owner decided to comply with the approved permission and is in the process of returning some the residential units back to their authorised office use. Bath and shower units have been removed; the office units are currently being advertised for let. The garage flat is no longer being used for residential and is in the process of being returned to a garage. Planning Application 19/P1527 for Discharge of Conditions has been submitted and is currently being considered. Revised scheme re-submitted and is currently under consideration.

**6 CARTMEL GARDENS, MORDEN SM4 6QN: (Notice 2)** This is regarding a side extension not built in accordance with approved plans and being used as a self contained unit of accommodation. A planning Enforcement Notice was subsequently issued on 24th September 2019 and took effect on 24th October 2019. The Notice requires the cessation of the use of side extension as separate self-contained unit, and the removal of all those fixtures and fittings that facilitate the unauthorised use of the extension including the permanent removal of the facilities in use for cooking facilities, kitchen unit, sink, worktop, appliances, and food preparation areas. This Notice has a

compliance period of 3 calendar months. An appeal was submitted but subsequently withdrawn. A second Notice is subject of an appeal in progress.

### **Some Recent Enforcement Actions**

#### **7 Streatham Road, Mitcham, CR4 2AD**

The Council served two enforcement notices on 6<sup>th</sup> June 2019, requiring the outbuilding to be demolished and to clear debris and all other related materials. The second enforcement notice is for an unauthorised front, side and rear (adjacent to Graham Road) dormer roof extensions. An appeal was lost for the dormers to be considered permitted development, the notice requires the owner to demolish the unauthorised front, side and rear roof dormer extensions (adjacent to Graham Road) and to clear debris and all other related materials. Both Notices came into effect on 8<sup>th</sup> July 2019 unless appeals were made before this date. No appeals were lodged.

The compliance date of the Enforcement Notice relating to the outbuilding to be demolished and to clear debris and all other related materials has now passed without compliance. The second enforcement notice was not complied with and now prosecution proceedings are being undertaken.

The plea hearing has now taken place at Lavender Hill Magistrates Court, where the defendant pleaded not guilty and the second hearing is due on the 14th January 2020.

A second hearing was held on 14<sup>th</sup> January 2020, and adjourned until 4<sup>th</sup> February 2020 in order for the defendant to seek further legal advice.

The defendant again appeared in court and pleaded not guilty, a trial date was set for 21<sup>st</sup> May 2020.

#### **3.00 New Enforcement Appeals**

1

**6 CARTMEL GARDENS, MORDEN SM4 6QN: (Notice 1)** This is regarding a side extension not built in accordance with approved plans. A planning Enforcement Notice was subsequently issued on 24th September 2019 and would have taken effect on 24th October 2019. The notice requires the demolition of the rear extension. This Notice has a compliance period of 3 calendar months. An Appeal was electronically submitted, and has now started.



**183A Streatham Road CR4 2AG.** An Enforcement Notice was issued on 1<sup>st</sup> May 2019 relating to the erection of a rear balcony to the existing rear roof dormer of the property. The Notice requires demolishing the rear balcony to the existing rear roof dormer and restoring the property to that prior to the breach. The Notice would have taken effect on 4<sup>th</sup> June 2019, with a compliance period of 2 months. An Appeal to The Planning Inspectorate has been made and the Appeal is in progress.

**47 Edgehill Road CR4 2HY.** This is concerning a rear extension not being built to the dimensions provided on the prior approval application. A Planning Enforcement Notice was subsequently issued requiring the demolition of the single storey rear extension. The Notice would have taken effect took effect on 16th September 2019, with a compliance period of 3 calendar months. An Appeal has started.

**33 HASSOCKS ROAD, LONDON. SW16 5EU:** This was regarding the unauthorised conversion from a single dwelling into 2 x self contained flats against a refusal planning permission. A planning Enforcement Notice was subsequently issued on 10th September 2019 and would have taken effect on 15th October 2019. This Notice has a compliance period of 3 calendar months, unless an appeal is made to the Planning Inspectorate before the Notice takes effect. An Appeal has been submitted, and has started.

**76 Shaldon Drive, Morden, SM4 4BH.** An enforcement notice was served on 14th August 2019 relating to an outbuilding being used as a self-contained unit. The notice requires the removal of all kitchen facilities, fixtures, fittings, cooker, worktops, kitchen units. The notice takes effect on 16th September 2019, with a compliance period of 1 month. An Appeal has been electronically submitted, but not yet started.

1.1.1. **Existing enforcement appeals**

5

**Appeals determined**

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**3.4 Requested update from PAC**

None

**4. Consultation undertaken or proposed**

None required for the purposes of this report

- 5 Timetable**  
N/A
- 6. Financial, resource and property implications**  
N/A
- 7. Legal and statutory implications**  
N/A
- 8. Human rights, equalities and community cohesion implications**  
N/A
- 9. Crime and disorder implications**  
N/A
- 10. Risk Management and Health and Safety implications.**  
N/A
- 11. Appendices – the following documents are to be published with this report and form part of the report Background Papers**  
N/A
- 12. Background Papers**